



**CITY OF FARMERSVILLE  
PLANNING AND ZONING COMMISSION AGENDA  
REGULAR CALLED MEETING  
June 19, 2017, 6:30 P.M.  
COUNCIL CHAMBERS, CITY HALL  
205 S. Main Street**

**I. PRELIMINARY MATTERS**

- Call to Order, Roll Call, Prayer and Pledge of Allegiance

**II. REORGANIZATION OF COMMISSION**

- A. Election of Chairman
- B. Election of Vice-Chairman
- C. Election of Secretary

**III. PUBLIC HEARING**

- A. Public hearing to consider, discuss and act upon making a recommendation of Ordinance #O-2017-0619-001 to City Council regarding an amendment to the Comprehensive Zoning Ordinance that would define and allow the use of pet grooming.

**IV. ITEMS FOR DISCUSSION AND POSSIBLE ACTION**

- A. Consider, discuss and act upon minutes from May 15, 2017.
- B. Consider, discuss and act upon approval of a preliminary plat for the Islamic Association of Collin County.

**V. ADJOURNMENT**

*The Planning and Zoning Commission reserves the right to adjourn into Executive Session at any time during the course of this meeting to discuss any matters listed on the agenda, as authorized by the Texas Government Code, including, but not limited to, Sections 551.071 (Consultation with Attorney).*

*Persons with disabilities who plan to attend this meeting and who may need assistance should contact the City Secretary at 972-782-6151 or Fax 972-782-6604 at least two (2) working days prior to the meeting so that appropriate arrangements can be made. Handicap Parking is available in the front and rear parking lot of the building.*

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted in the regular posting place of the City Hall building for Farmersville, Texas, in a place and manner convenient and readily accessible to the general public at all times, and said Notice was posted on June 14, 2017, by 5:00 P.M. and remained so posted continuously at least 72 hours proceeding the scheduled time of said meeting.

**Dated this the 14<sup>th</sup> day of June, 2017.**



Sandra Green, City Secretary



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## I. Preliminary Matters

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## II. Reorganization of Commission

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### III. Public Hearing

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**CITY OF FARMERSVILLE  
ORDINANCE #2017-0619-001**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF FARMERSVILLE, TEXAS, AMENDING CHAPTER 77, "ZONING," THROUGH THE AMENDMENT OF ARTICLE I, "IN GENERAL," THROUGH THE AMENDMENT OF SECTION 77-1, "DEFINITIONS," BY ADDING A NEW DEFINITION FOR "PET GROOMING," AND THROUGH THE AMENDMENT OF ARTICLE II, "ZONING DISTRICTS," THROUGH THE AMENDMENT OF DIVISION 3, "USE OF LAND AND BUILDINGS," BY AMENDING SECTION 77-100, "RETAIL AND RELATED SERVICE USES," TO ALLOW "PET GROOMING" AS A PERMITTED USE IN THE GENERAL RETAIL (GR), COMMERCIAL (C), HIGHWAY COMMERCIAL (HC), CENTRAL AREA (CA), LIGHT INDUSTRIAL (I-1), HEAVY INDUSTRIAL (I-2), AND PLANNED DEVELOPMENT (PD) ZONING CLASSIFICATIONS; PROVIDING FOR SEVERABILITY; PROVIDING A REPEALER CLAUSE; PROVIDING A PENALTY; PROVIDING FOR PUBLICATION; PROVIDING ENGROSSMENT AND ENROLLMENT; PROVIDING A SAVINGS CLAUSE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the City of Farmersville, Texas ("City") is a Type A General – Law Municipality located in Collin County having a population of less than 5,000 persons as determined by the most recent federal census, created in accordance with the provisions of Chapter 6 of the Local Government Code, and operating pursuant to the enabling legislation of the State of Texas; and

**WHEREAS**, Chapter 211 of the Texas Local Government Code, as amended, authorizes a municipality to adopt and update zoning ordinances for the purpose of promoting the public health, safety, morals, or general welfare and protecting and preserving places and areas of historical, cultural, or architectural importance and significance; and

**WHEREAS**, the City has previously adopted a Zoning Ordinance under the authority of Chapter 211 of the Texas Local Government Code, which Zoning Ordinance is codified as Chapter 77 of the Farmersville Code; and

**WHEREAS**, the City Council of the City of Farmersville, Texas ("City Council"), desires to amend Chapter 77 of the Farmersville Code to provide for Pet Grooming Services as an allowable use as provided herein below; and

**WHEREAS**, the City Council of the City of Farmersville, Texas, does hereby find and determine that the adoption of this Ordinance is in the best interest of the public health, safety, morals, and general welfare of the City of Farmersville.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERSVILLE, TEXAS, THAT:**

**SECTION 1. INCORPORATION OF FINDINGS**

The findings set forth above are hereby found to be true and correct and are hereby incorporated into the body of this Ordinance and made a part hereof for all purposes as if fully set forth herein.

**SECTION 2. AMENDMENT OF CHAPTER 77, "ZONING," THROUGH THE AMENDMENT OF THROUGH THE AMENDMENT OF ARTICLE I, "IN GENERAL," THROUGH THE AMENDMENT OF SECTION 77-1, "DEFINITIONS," BY ADDING A NEW DEFINITION FOR "PET GROOMING"**

- A. From and after the effective date of this Ordinance, Article I, "In General," of Chapter 77 of the Farmersville Code is amended through the amendment of Section 77-1, "Definitions," by adding a new definition for "Pet Grooming" to read as follows:

*"Pet grooming means an establishment that provides grooming services for dogs, cats and other small domesticated animals inside a heated and air conditioned building; but which establishment does not provide indoor or outdoor pens in which such animals are housed or boarded on a daily basis or overnight or are otherwise bred, trained, or sold for commercial purposes. Pet grooming may be an accessory use to a pet shop."*

**SECTION 3. AMENDMENT OF CHAPTER 77, "ZONING," THROUGH THE AMENDMENT OF ARTICLE II, "ZONING DISTRICTS," THROUGH THE AMENDMENT OF DIVISION 3, "USE OF LAND AND BUILDINGS," BY AMENDING SECTION 77-100, "RETAIL AND RELATED SERVICE USES," TO ALLOW "PET GROOMING" AS A PERMITTED USE IN THE GENERAL RETAIL (GR), COMMERCIAL (C), HIGHWAY COMMERCIAL (HC), CENTRAL AREA (CA), LIGHT INDUSTRIAL (I-1), HEAVY INDUSTRIAL (I-2), AND PLANNED DEVELOPMENT (PD) ZONING CLASSIFICATIONS**

- A. From and after the effective date of this Ordinance, Article II, "Zoning Districts," of Chapter 77 of the Farmersville Code is amended through the amendment of Division 3, "Use of Land and Buildings," by amending Section 77-100, "Retail and Related Service Uses," to allow "Pet Grooming" as a permitted use in the General Retail (GR), Commercial (C), Highway Commercial (HC), Central Area (CA), Light Industrial (I-1), Heavy Industrial (I-2), and Planned Development (PD) zoning classifications by inserting the use "Pet Grooming" into the list of permitted uses in alphabetical order to read as follows:

Type of Use	A	SF-1	SF-2	SF-3	2F	MF-1	MF-2	P	O	NS	GR	C	HC	CA	I-1	I-2	PD
Pet grooming										.	.	.	.	.	.	.	.

**SECTION 4. SEVERABILITY**

It is hereby declared to be the intention of the City Council that the several provisions of this Ordinance are severable, and if any court of competent jurisdiction shall judge any provisions of this Ordinance to be illegal, invalid, or unenforceable, such judgment shall not affect any other provisions of this Ordinance which are not specifically designated as being illegal, invalid or unenforceable.

**SECTION 5. REPEALER**

This Ordinance shall be cumulative of all other Ordinances, resolutions, and/or policies of the City, whether written or otherwise, and shall not repeal any of the provisions of those ordinances except in those instances where the provisions of those ordinances are in direct conflict with the provisions of this Ordinance. Any and all ordinances, resolutions, and/or policies of the City, whether written or otherwise, which are in any manner in conflict with or inconsistent with this Ordinance shall be and are hereby repealed to the extent of such conflict and/or inconsistency.

**SECTION 6. PENALTY**

Any person, firm, partnership, corporation, or other entity violating any provision contained in this Ordinance shall, upon conviction, be fined an amount not more than \$500.00; and each day a violation exists shall be deemed a separate offense. A culpable mental state is not required.

**SECTION 7. PUBLICATION**

The City Secretary of the City of Farmersville is hereby directed to publish in the Official Newspaper of the City of Farmersville the Caption, Penalty and Effective Date Clause of this Ordinance as required by Section 52.011 of the Local Government Code.

**SECTION 8. ENGROSSMENT AND ENROLLMENT**

The City Secretary of the City of Farmersville is hereby directed to engross and enroll this Ordinance by copying the exact Caption and the Effective Date clause in the minutes of the City Council of the City of Farmersville and by filing this Ordinance in the Ordinance records of the City.



**SECTION 9. SAVINGS**

All rights and remedies of the City of Farmersville are expressly saved as to any and all violations of the provisions of any Ordinances which have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such Ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

**SECTION 10. EFFECTIVE DATE**

This Ordinance shall take effect immediately upon its adoption and publication in accordance with and as provided by Texas law.

**PASSED** on first reading on the \_\_\_\_ day of \_\_\_\_\_, 2017, and second reading on the \_\_\_\_ day of \_\_\_\_\_, 2017 at properly scheduled meetings of the City Council of the City of Farmersville, Texas, there being a quorum present, and approved by the Mayor on the date set out below.

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2017.

**APPROVED:**

BY: \_\_\_\_\_  
Diane C. Piwko  
Mayor

**ATTEST:**

\_\_\_\_\_  
Sandra Green  
City Secretary

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#### IV. Items for Discussion and Possible Action

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**CITY OF FARMERSVILLE  
PLANNING AND ZONING COMMISSION MINUTES  
for  
May 15, 2017**

**I. PRELIMINARY MATTERS**

- Chairman Craig Overstreet presided over the meeting which was called to order at 6:30 p.m. Commissioners Sarah Jackson-Butler, Bobby Bishop, Luke Ingram, and Paul Kelly were in attendance. Chad Dillard and Russell Chandler were not absent. Also in attendance were City Manager, Ben White; City Attorney, Alan Lathrom; Council Liaison, John Klostermann; and Staff Liaison, Sandra Green.
- Paul Kelly led the prayer and Craig Overstreet followed with the pledges to the United States and Texas flags.

**II. PUBLIC HEARING**

- A. Public hearing to consider, discuss and act upon a recommendation to City Council regarding a request for a Special Use Permit for commercial, amusement (indoor) uses to allow Winners Sweepstakes to be located at 676 Hwy. 380, which address may also be known and referred to as 676 W. Audie Murphy Parkway.
- Craig Overstreet opened the public hearing at 6:32 pm and asked if there was anyone who wanted to speak for the proposed business.
  - Steve Bell, President of Strategic Fundraising Solutions, LLC, 6401 W. Eldorado Parkway, McKinney, 75070, addressed the Commission. He stated Lt. Brian Alford told him to call Judy Brandon with the City Outreach Program regarding charitable donations. He stated they have opened the Princeton and Sherman locations and several more are about to open. He explained they are in the middle of trying to become established to give donations to a first responders fund as well. He described that his business is a sweepstakes and he provides money to charities.

- Craig Overstreet indicated that Mr. Bell had told everyone about the business at a previous meeting and then asked if there was anyone that wanted to speak against the business. None came forward so Craig Overstreet closed public hearing at 6:36 pm.
- Craig Overstreet asked Alan Lathrom to clarify the noticing of the specific use permit and inquired if the address needed to include the City.
- Bobby Bishop also stated he had issues with the public notice. He asked if it was okay that the address was incorrect on the application and on the first public hearing notice.
- Alan Lathrom indicated there was a correction made and published within the time limits per law. The City has met the intent and requirements set out by law for the noticing.
- Bobby Bishop asked if the applicant, Richard Cleveland, was applying for the permit or was the company.
- Steve Bell indicated that on the application they had to put a name and Richard Cleveland will be running the store, but the business is asking for the specific use permit.
- Bobby Bishop inquired about who would be issued the Certificate of Occupancy.
- Alan Lathrom explained it would be given to the applicant.
- Paul Kelly asked why it would not be issued to the location.
- Alan Lathrom indicated it would be specific to the location as well, but it would be issued to an individual for that location. The specific use permit could not be transferred to another location. If there was a change in the operator at the location, other than Mr. Cleveland, the new operator would have to apply for a specific use permit to continue running the business there.
- Craig Overstreet stated his concerns were that he does not like the fact there would be no tax base the City would receive, the lighting is bad, and the parking is an unimproved surface. He stated he does not feel this would be the best use of the property since it is located in a highway commercial district.
- Steve Bell stated they would have to do a lot of work at the location and they are planning to give money to the City Outreach Program and the Angel Tree Program if they are allowed to open in Farmersville. He

explained that he did not know what they could sell that would provide tax revenue to the City. The store gives items away, such as donuts, and they buy those items from local vendors. He stated they want to run a law abiding business that helps the City.

- Bobby Bishop asked Steve Bell if the only thing that made his business legal was the charitable nature of giving money to other entities.
- Steve Bell stated they choose to give away money to charities. He indicated by law they do not have to give any of the money away. He explained the income made from the business goes toward donations to the charities and the rest of the money goes to software, payroll, and other things. He said that he does not make a lot of money. Mr. Bell stated their business is not an eight line gaming situation and people automatically get free entries when they come in. They also give away prizes. He has spent time in order to make sure the business was legal and met all the requirements. He stated his business was the same as McDonalds and the North Texas Toll Association and how they play their sweepstakes games. He explained that he cannot write off the charity on his taxes because he works on their behalf. If someone wins over \$600 in his store they must fill out a tax form that he forwards to the IRS. He explained they have house rules: no hoodies, no baggy pants, no drugs, no profanity, no disruptive behavior, no drinking, and no smoking. He said it was no different than buying a lottery ticket.
- Paul Kelly stated the Commission could determine the length given on the specific use permit. He indicated they could allow it to be granted for six months or for a year. He explained he has reviewed the application and permit request and he does not have a problem with the location.
- Steve Bell indicated that Jack Hendricks would not give them a lease for more than two years. They want to prove themselves and find a new spot in the future.
- Bobby Bishop asked when building renovations started would they have to comply with the current codes.
- Ben White stated yes they would have to comply with ADA and current codes and would possibly have to upgrade the parking lot to concrete.
- Steve Bell indicated most of the parking would be on the west side of the property.
- Sandra Green indicated he would need to bring the property up to code.

- Craig Overstreet explained that any action taken at the Planning & Zoning meeting would be forwarded to City Council as a recommendation.
- Paul Kelly asked if the Police Department had signed off on accepting donations from the Winner's Sweepstakes.
- Ben White stated the Police Department had not signed off on it.
- Paul Kelly asked if the Police Department does not accept their donations where would the donations from the business go.
- Steve Bell stated that he was given Judy Brandon's phone number from Lt. Brian Alford. The Farmersville Police Association helps support the City Outreach Program and they could help support that organization.
  - Motion to approve recommendation to the City Council made by Paul Kelly
  - 2<sup>nd</sup> to made by Bobby Bishop
  - All members voted in favor

### **III. ITEMS FOR DISCUSSION AND POSSIBLE ACTION**

#### **A. Consider, discuss and act upon minutes from April 17, 2017.**

- Motion to approve made by Paul Kelly
- 2<sup>nd</sup> to approve made by Sarah Jackson-Butler
- All members voted in favor
- Craig Overstreet stated the City Council Liaison, John Klostermann, wanted to address the Commission since he was leaving the Council.
- Mr. Klostermann thanked all the Commissioners for volunteering their time and he explained that he had learned a lot from them. He stated he appreciated everything they have done and to keep up the good work.

### **IV. ADJOURNMENT**

- The meeting was adjourned at 7:00 p.m.
  - Motion to adjourn made by Bobby Bishop
  - 2<sup>nd</sup> to approve made by Sarah Jackson-Butler
  - All members voted in favor

ATTEST:

APPROVE:

\_\_\_\_\_  
Sandra Green, City Secretary

\_\_\_\_\_  
Sarah Jackson-Butler, Vice-Chairman







**COPY**

March 17, 2017

RECEIVED *City Hall*  
DATE *3-20-17*  
BY *[Signature]*

City of Farmersville  
205 S. Main Street  
Farmersville, TX 75442

Engineer's Summary Report

Application is made for approval of a cemetery within the City of Farmersville, Texas. The site is located on the IACC Addition in the James Innerarity Survey, Abstract No. 467, Collin County Texas. Lot 1 is 1.964 acres and will remain undeveloped. Lot 2 is 32.330 acres and will be developed as a cemetery. The site is located north of FM 557 and approximately 413' south of West Audie Murphy Parkway (US Highway 380).

The cemetery project will consist of site grading, paving, storm sewer, detention pond, septic sewer system, service water line and construction of a pavilion, restroom facilities, and a maintenance building. Care has been taken to maintain existing drainage patterns and flows.

The site drains to the southern portion of the site via surface runoff to a 110" culvert pipe which runs under FM 557. There are two existing ponds on the property. The southernmost pond will be modified to serve as a detention pond. Culverts will be installed to allow surface drainage to flow under the proposed onsite roadway. The site was designed such that it would accommodate the dedication of right-of-way for the realignment of FM 557 to the east of the site.

A 2" water service line is proposed to serve the site. This will connect to a future water line built within the future FM 557 right-of-way. Separate septic system plans have been prepared by Larry Howard, Professional Sanitarian.

A plat has been prepared by Salcedo Group, Inc. to support the approval of the engineering plans.

Dylan Hedrick, P.E.  
Halff Associates, Inc.

**COPY**



RECEIVED City Hall  
DATE 3-20-17  
BY [Signature]

**SUBDIVISION APPLICATION FORM  
City of Farmersville, Texas**

**Please Type or Print Information**

*This form shall be completed by the Applicant and submitted to the City Secretary's Office along with 6 copies of the respective plat, fees, and all other required information.*

*In order for a completed package to be considered for a Planning and Zoning Board meeting all application materials will need to be turned into the City staff at least 3 weeks prior. The package will need to be technically complete 6 working days prior to the Planning and Zoning Board meeting.*

*The use of City of Farmersville administrative forms, checklists, and routing sheets shall not relieve the applicant from following the rules, standards, ordinances, and laws governing the City of Farmersville.*

*The submission of plans/drawings, calculations, etc., along with this application, makes such items public record and the Applicant understands that they may be viewed and/or reproduced by the general public.*

*For a list of fees associated see the City of Farmersville Master Fee Schedule. Fees shall be collected for the purpose of defraying the costs of administrative, clerical, engineering, legal, planning, inspection, and other services deemed necessary to properly review and investigate plats and subdivision construction.*

*Exemptions to the platting process are listed in section 1.5 of the Subdivision Ordinance.*

*Subdivision Ordinance variances/waivers may be granted by following the steps outlined in section 1.10 of the Subdivision Ordinance.*

*Public infrastructure requirements established by the respective code (example, International Fire Code) and interpreted by the code official may be appealed based on a claim of incorrect interpretation, code applicability, or equivalent methodology. Code requirements cannot be waived.*

*Place "X" or check mark in appropriate box. All answers must be "Yes" to submit application.*

Pre-Application Requirements		
Yes	No	Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Attended Pre-Application Conference
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plat described by metes and bounds
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plat located with respect to a corner of the survey or tract or an original corner of the original survey of which it is a part
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Dimensions of plat and of each street, alley, square, park, or other part of the plat intended to be dedicated to public use or for the use of purchasers or owners of lots fronting on or adjacent to the street, alley, square, park, or other part
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plat is located in Collin County
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plat is located in Hunt County
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Plat is located within the City of Farmersville corporate limits or Extra-Territorial Jurisdiction (ETJ) limits

*Subdivision Application Form*

Place "X" or check mark in appropriate box. Use the N/A (not applicable) box if a line item is not applicable. Double asterisk items are required for all applications. Where separate documents are requested attach them to this submission.

<b>Required Submission Materials</b>			
Yes	No	N/A	Item Description
✓			** Six copies of plat. Dimensions should be 24" X 36".
✓			* * Original certified tax certificate
✓			** Utility service provider letters
✓			** Proof of land ownership document
✓			** Electronic version of plat on CD (.PDF and .DWG)
✓			** Fees with appropriate retainer as required
✓			Governmental (TxDOT, Collin County, etc.) approval for major thoroughfare access such as driveway
		✓	Farmersville Independent School District (FISD) accommodation letter (high impact residential or multi-family only)
✓			Two copies of engineering plans
✓			On-Site Sanitary Sewer Facility (OSSF) certification document
✓			Engineer's Summary Report
✓			Development schedule
		✓	Development agreement
		✓	Copy of covenants, conditions, restrictions, and agreements
✓			Geotechnical report
✓			Traffic study
✓		✓	Application letter for proposed street names

Place "X" or check mark in appropriate box. Only one box may be indicated.

<b>Type of Plat Document Submittal</b>	
	Concept Plan
✓	Preliminary Plat
	Final Plat
	Development Plat
	Replat
	Amending Plat
	Minor Plat
	Vacated Plat

*Subdivision Application Form*

*Place information in all spaces that apply. Depending on the situation some spaces may be left empty.*

<b>Property Owner Information</b>	
Name	Islamic Association of Collin County
Address	6401 Independence Pkwy
City	Plano
State	Texas
Zip	75023
Work Phone Number	972 491 5800
Facsimile Number	-
Mobile Phone Number	-
Email Address	-
<b>Applicant/Responsible Party Information</b>	
Name	Same as Above
Address	
City	
State	
Zip	
Work Phone Number	
Facsimile Number	
Mobile Phone Number	
Email Address	
<b>Engineer Information</b>	
Name	Dylan Hedrick
Address	1201 N. Bowser Road
City	Richardson
State	TX
Zip	75081
Work Phone Number	214 746 6200
Facsimile Number	214 739 0095
Mobile Phone Number	-
Email Address	dhedrick@half.com
<b>Surveyor Information</b>	
Name	Louis Galcedo
Address	110 SW 2nd St.
City	Grand Prairie
State	TX
Zip	75050
Work Phone Number	214 412 3122
Facsimile Number	214 941 2331
Mobile Phone Number	-
Email Address	lgalcedo@galcedogroupinc.com

*Subdivision Application Form*

General Application Information	
Proposed Name of Subdivision	IACC Cemetery
Total Acreage of Development	34.272
Physical Location of Property	Farmersville ETJ
Legal Description of Property	IACC Addition Lots 1 and 2 34.272 Acres James Inverarity Survey Abstract
Number of Lots	2

467,  
Collin Co., TX

Place "X" or check mark in appropriate box indicating the form provided for proof of land ownership. Attach document to this submission.

Type of Plat Document Submittal	
<input checked="" type="checkbox"/>	General Warranty Deed
<input type="checkbox"/>	Special Warranty Deed
<input type="checkbox"/>	Title Policy
<input type="checkbox"/>	Other (approved by City Manager):

Place "X" or check mark in appropriate box indicating the current zoning districts comprising the land. Depending on the situation more than one box may be indicated.

Current Zoning	
<input type="checkbox"/>	A Agricultural District
<input type="checkbox"/>	SF-1 One-Family Dwelling District
<input type="checkbox"/>	SF-2 One-Family Dwelling District
<input type="checkbox"/>	SF-3 One-Family Dwelling District
<input type="checkbox"/>	2F Two-Family Dwelling District
<input type="checkbox"/>	MF-1 Multiple-Family Dwelling District-1
<input type="checkbox"/>	MF-2 Multiple-Family Dwelling District-2
<input type="checkbox"/>	P Parking District
<input type="checkbox"/>	O Office District
<input type="checkbox"/>	NS Neighborhood Service District
<input type="checkbox"/>	GR General Retail District
<input type="checkbox"/>	C Commercial District
<input type="checkbox"/>	HC Highway Commercial
<input type="checkbox"/>	CA Central Area District
<input type="checkbox"/>	I-1 Light Industrial District
<input type="checkbox"/>	I-2 Heavy Industrial District
<input type="checkbox"/>	PD Planned Development District
<input checked="" type="checkbox"/>	Extra-Territorial Jurisdiction

*Subdivision Application Form*

*Place "X" or check mark in appropriate box indicating the proposed zoning districts comprising the land. Depending on the situation more than one box may be indicated. If zoning remains unaffected mark the same as above in the "Current Zoning Districts" table.*

Proposed Zoning	
<input type="checkbox"/>	A Agricultural District
<input type="checkbox"/>	SF-1 One-Family Dwelling District
<input type="checkbox"/>	SF-2 One-Family Dwelling District
<input type="checkbox"/>	SF-3 One-Family Dwelling District
<input type="checkbox"/>	2F Two-Family Dwelling District
<input type="checkbox"/>	MF-1 Multiple-Family Dwelling District-1
<input type="checkbox"/>	MF-2 Multiple-Family Dwelling District-2
<input type="checkbox"/>	P Parking District
<input type="checkbox"/>	O Office District
<input type="checkbox"/>	NS Neighborhood Service District
<input type="checkbox"/>	GR General Retail District
<input type="checkbox"/>	C Commercial District
<input type="checkbox"/>	HC Highway Commercial
<input type="checkbox"/>	CA Central Area District
<input type="checkbox"/>	I-1 Light Industrial District
<input type="checkbox"/>	I-2 Heavy Industrial District
<input type="checkbox"/>	PD Planned Development District
<input checked="" type="checkbox"/>	Extra-Territorial Jurisdiction

*Place "X" or check mark in appropriate box indicating the proposed use of the land. Depending on the situation more than one box may be indicated.*

Use of Land and Buildings	
Housing Uses	
<input type="checkbox"/>	One Family Detached Dwelling
<input type="checkbox"/>	One Family Attached Dwelling
<input type="checkbox"/>	Zero Lot Line Dwelling
<input type="checkbox"/>	Town Home
<input type="checkbox"/>	Two Family Dwelling
<input type="checkbox"/>	Multiple Family Dwelling
<input type="checkbox"/>	Boarding or Rooming House
<input type="checkbox"/>	Bed and Breakfast Inn
<input type="checkbox"/>	Hotel or Motel
<input type="checkbox"/>	HUD Code Manufactured Home
<input type="checkbox"/>	Industrialized Housing
<input type="checkbox"/>	Mobil Home

Subdivision Application Form

<b>Use of Land and Buildings</b>	
<b>Accessory And Incidental Uses</b>	
	Accessory Building
	Farm Accessory Building
	Home Occupation
	Off Street Parking Incidental to Main Use
	Stable
	Swimming Pool
	Temporary Field Office or Construction Office
<b>Utility And Services Uses Electrical Substation</b>	
	Electrical Energy Generating Plant
	Electrical Transmission Use
	Fire Station
	Gas Lines and Regulating Station
	Public Building Shop or Yard of Local State or General Agency
	Radio, Television, or Microwave Tower
	Radio or Television Transmitting Station
	Sewage Pumping Station
	Sewage Treatment Plant
	Telephone Business Office
	Telephone Exchange, Switching Relay or Transmitting Station
	Utility Line, Local
	Utility Shops or Storage Yards or Buildings
	Water Standpipe or Elevated Water Storage
	Water Reservoir, Well or Pumping Station
	Water Treatment Plant
<b>Recreational And Entertainment Uses</b>	
	Amusement, Commercial
	Amusement, Commercial
	Country Club with Golf Course
	Dance Hall or Night Club
	Day Camp for Children
	Drag Strip or Commercial Racing
	Go Cart Track
	Gun Range
	Park or Playground
	Play Field or Stadium
	Rodeo Grounds
	Swim or Tennis Club
	Theater
	Trailer Park - Recreational Vehicle Park

Subdivision Application Form

Use of Land and Buildings	
<b>Educational And Institutional Uses</b>	
	Art Gallery or Museum
✓	Cemetery or Mausoleum
	Church or Rectory
	College, University or Private School
	Community Center
	Convent or Monastery
	Fairgrounds or Exhibition Area
	Fraternity, Sorority, Lodge or Civic Club
	Home for Alcoholic, Narcotic or Psychiatric Patients
	Hospital Acute Care
	Hospital Chronic Care
	Historical, Religious, Charitable or Philanthropic Nature
	Kindergarten or Nursery
	Library
	Nursing Home or Residence for Aged
	School, Business or Trade and
	School, Public or Parochial
<b>Transportation Related Uses</b>	
	Airport, Landing Field or Heliport
	Bus Station or Terminal and
	Motor Freight Terminal
	Parking Lot Truck
	Parking Lot Structure Commercial
	Railroad Freight Terminal
	Railroad Passenger Station
	Railroad Track or Right-of-Way
	Railroad Team Tracks
<b>Automobile Service Uses</b>	
	Auto Glass, Muffler or Seat Cover Shop
	Auto Laundry
	Auto Parts and Accessory Sales
	Auto Parts and Accessory Sales
	Auto Painting or Body Rebuilding Shop
	Automobile Repair Garage
	Gasoline or Fuel Service Station
	New or Used Auto Sales in Structure
	New or Used Auto Sales Outdoor Lot
	Motorcycle or Scooter Sales and Repair
	Steam Cleaning or Vehicles or Machinery
	Tire Retreading or Capping
	Trailer, Cargo Sales or Rental
	Wrecking or Auto Salvage Yard



Subdivision Application Form

Use of Land and Buildings	
Retail And Related Service Uses	
Antique Shop	
Art Supply Store	
Bakery or Confectionery Shop	
Bank or Saving And Loan Office	
Barber or Beauty Shop	
Book or Stationery Shop	
Camera Shop	
Cleaning Shop or Laundry	
Cleaning Laundromat	
Clinic, Medical or Dental	
Custom Personal Service Shop	
Department Store or Discount Store	
Drug Store or Pharmacy	
Farmers Market	
Florist Shop	
Food Store	
Furniture or Appliance Store	
Garden Shop and Plant Sales	
Handcraft and Art Objects Sales	
Hardware Store or Hobby Shop Key Shop	
Laboratory, Medical or Dental	
Medical Appliances, Fitting, Sales or Rental	
Mortuary	
Offices, General Business or Professional	
Office Showroom/Warehouse or Sales Facilities	
Optical Shop or Laboratory	
Pawn Shop	
Pet Shop, Small Animals, Birds, and Fish	
Private Club	
Repair of Appliances, T.V., Radio and Similar Equipment	
Restaurant or Cafeteria	
Restaurant or Eating Establishment	
Retail Shop, Apparel, Gift Accessory and Similarities	
Sexually Oriented Establishment	
Studio Decorator and Display of Art Objects	
Studio Health Reducing or Similar Service	
Studio, Photographer, Artist, Music, Drama, or Dance	
Tool Rental	
Trailer or RV Sales or Display	
Variety Store or Other Retail Outlet Store	
Veterinarian Office Only	

Subdivision Application Form


<b>Use of Land and Buildings</b>	
<b>Agricultural Types Uses</b>	
	Farm or Ranch
	Animal Pound
	Animal Clinic or Hospital
	Animal Clinic, Hospital or Kennel
	Greenhouse or Plant Nursery
<b>Commercial Type Uses</b>	
	Bakery Wholesale
	Building Material Sale
	Cabinet and Upholstery Shop
	Cleaning, Drying or Laundry Plant
	Clothing or Similar Light Assembly Process
	Contractors Storage or Equipment Yard
	Heavy Machinery Sales, Storage or Repair
	Lithographic or Print Shop
	Maintenance and Repair Service for Buildings
	Milk Depot, Dairy or Ice Cream Plant
	Manufactured House or Industrialized Homes Sales and Display
	Open Storage of Furniture, Appliances or Machinery, Etc.
	Paint Shop
	Petroleum Products, Storage and Wholesale
	Plumbing Shop
	Propane Storage and Distribution
	Storage Warehouse
	Trailer or Recreational Vehicle Sales or Display
	Welding or Machine Shop
	Wholesale Office Storage or Sales Facilities
<b>Industrial Uses</b>	
	Asphalt Paving Batching Plant
	Concrete Batching Plant
	Concrete Products Manufacture
	Light Manufacturing
	Sand and Gravel Storage
	Sand, Gravel, Stone or Petroleum Extraction

**Subdivision Application Form**

Indicate the utility provider's name for the property in the space provided.

Utility Providers	
Description of Service	Name
Electrical Service Provider	City of Farmersville
Water Supplier	City of Farmersville
Sewage Disposal	-
Telephone Service	-
Cable TV Service	-
Gas Service	-
Refuse Pick-Up	City of Farmersville

The signatures of the owner(s) below indicate intention to follow through with the platting/subdivision process.

	IACC	3/20/2017
Owner's Signature	Owner's Name (Printed)	Date
_____	_____	_____
Co-Owner's Signature	Co-Owner's Name (Printed)	Date
_____	_____	_____
Co-Owner's Signature	Co-Owner's Name (Printed)	Date



6/13/2017  
AVO 31492

Sandra Green  
City Secretary  
City of Farmersville  
Phone: (972) 782-6151  
Metro: (972) 784-6093  
Fax: (972) 782-6604

RE: Street Name Approval

Dear Ms. Green:

The purpose of this letter is in regards to the proposed street names for the LACC Cemetery in Farmersville, TX. The names which have been selected are as follows:

- Peace Trail
- Firdous Lane
- Raiyan Way
- Rawdah Circle

Please advise as to their availability for use on this project.

Sincerely,

HALFF ASSOCIATES, INC.

Jonathan West, PLA  
Project Manager

C:



Development Schedule																	
IACC Cemetery																	
Task	2017								2018								
	April	May	June	July	August	September	October	November	December	January	February	March	April	May	June	July	August
Preliminary Plat Submittal	█																
Construction Plans		█	█	█	█	█											
Bidding						█											
Permit							█										
Phase I Construction								█	█	█	█	█	█	█	█	█	█

RECEIVED  
 DATE 3-20-17  
 BY *[Signature]*

**COPY**



## Preliminary Plat Routing Sheet

File Name Description: Islamic Association of Collier County Addition Preliminary Plat

Initials/Date Completed	Description of Activity	Responsible Party
6-14-17	Receipt of plat documentation. Verify complete. <sup>Final</sup>	City Secretary
5-2017 SG	Receipt of Retainer and Fees	City Secretary
Previously Setup SG	Assign asset account to project. Use street name, proposed name of subdivision, and year/month.	Finance Manager
SG 5-2017	File original office copy of plat documentation street name <space> name of subdivision	City Secretary
N/A	File electronic version of concept plan	City Secretary
5-2017 SG	Create routing documentation set using copies, attach checklist	City Secretary
6-14-17	Fire Chief review	Fire Chief
6-14-17	Police Chief review	Police Chief
5-2017 SG	Engineering review using checklist	City Engineer
5-12-17 SG	Request electronic and paper documentation updates (as required), 15 copies, 1 Mylar, 1 CD	City Engineer
6-14-17 SG	Receive electronic and paper documentation updates (as required)	City Engineer
5-12-17 SG	Engineer review of updates with spell check	City Engineer
6/6/2017	Engineer's approval letter with stamp	City Engineer
<b>Technically Complete: 6 Working Days Prior to P&amp;Z Board Meeting</b>		
SBWS 6-14-17	Public Works Director recommendation letter	Public Works Director
6-14-17	City Manager review	City Manager
N/A	Add item to P&Z Agenda with public hearing	City Secretary
	P&Z Approval	P&Z Board
N/A	P&Z Chairman signature	P&Z Chairman
SG 6-9-2017	Engineer marks documentation set approved	City Engineer
N/A	Distribute owner copy, 1 paper copy	City Secretary
N/A	File City copy, 1 paper copy	City Secretary
SG 6-14-17	Scan file contents into archive under developmental services folder.	City Secretary
SG 6-14-17	File paper version in file cabinet under plats.	City Secretary



## Preliminary Plat Review Checklist

The use of City of Farmersville administrative forms, checklists, and routing sheets shall not relieve the applicant from following the rules, standards, ordinances, and laws governing the City of Farmersville.

Name of Subdivision	ISLAMIC ASSOCIATION OF COLLIN COUNTY ADDITION
Owner	ISLAMIC ASSOCIATION OF COLLIN COUNTY
Reviewed By	JAMES SHANKLES, P.E. - DBI
Date	6 JUNE 2017

Place "X" or check mark in appropriate box. Place "N/A" in boxes where the line item is "not applicable".

Submission Materials	
6-14-17	Six copies of plat. Dimensions should be 24" X 36".
6-14-17	Original certified tax certificate <i>Copy ok</i>
6-14-17	Utility service provider letters
	<del>Proof of land ownership document</del>
6-14-17	Electronic version of plat on CD (.PDF and .DWG)
N/A	Governmental (TxDOT, Collin County, etc.) approval for major thoroughfare access such as driveway
N/A	Farmersville Independent School District (FISD) accommodation letter (high impact residential or multi-family only)
X	Two copies of engineering plans
X	On-Site Sanitary Sewer Facility (OSSF) certification document
X	Engineers summary report
X	Development schedule
N/A	Development agreement
X	Copy of covenants, conditions, restrictions, and agreements
X	Geotechnical report
X	Traffic study
X	Application letter for proposed street names
General	
X	Date of preparation. Revision letter suggested. <i>6 JUNE 2017</i>
X	The plat substantially conforms to the approved Concept Plan
X	The plat shall state the name, address, and telephone number of the owner and be

Preliminary Plat Review Checklist

	signed and notarized
X	The plat shall state the name, address, and telephone number of the surveyor and/or engineer and be signed, sealed, and dated
X	Indicate the total acreage and legal description of the subdivision
X	Provide a small scale vicinity map on the plat indicating the location of the subdivision in relation to other subdivisions major roads, towns, cities, counties and/or topographical features. Indicate city limits and/or ETJ or indicate by note all within city limits or ETJ
X	Indicate the distance to the nearest road intersection
X	Provide the names of the adjacent property owners and/or subdivisions, the vol./page/instrument number deed and lot/block/date recorded
X	Provide North arrow and scale (both graphical and written)
X	Indicate the school district(s) where the subdivision is located
N/A	Indicate the proposed phases of development
N/A	Indicate any lots proposed for parks, squares, greenbelts, school or other public use facilities
	<b>Building setbacks</b>
X	Lot and block numbering are provided and match the legal description of the property
X	Indicate boundary lines, abstract or survey lines, corporate or other jurisdictional boundaries, existing or proposed highways and streets
X	The length and bearing of all lot lines and reference ties to a survey corner or existing subdivision corner
N/A	Establish 2 permanent monuments per development tied to City's approved vertical control monumentation
X	Tie at least one corner of the subdivision to the City's approved vertical control monumentation
X	The location, width and names of all streets, alleys, and easements
X	The proposed arrangement and square footage (acreage) of lots
X	A title block within the lower right hand corner which shows the name of the subdivision, the name and address of the owner, name of the land planner, licensed engineer or registered surveyor who prepared the plat, the scale of the plat, the date of the plat and the location of the property according to the abstract or survey records of Collin County.
X	Scale, date and north arrow oriented at the top or left side of the sheet
X	Contours with intervals of two (2) feet or less
X	All physical features of the property to be subdivided shall be indicated in accordance with the Subdivision Ordinance
N/A	Proposed or existing zoning of the subject property and all adjacent properties
X	Outline of major wooded areas or the location of major trees 6" in caliper and larger
	<b>Statements</b>
X	Add a notation that the plat is for review purposes only
X	Provide a statement on the plat that all On-Site Septic Systems are to comply with the requirements of the applicable State, County and City's rules for on-site sewage facilities and signature of the designated representative (if applicable).



Preliminary Plat Review Checklist

X	Add a statement and signature line indicating approval by the Chairman of the Planning and Zoning Committee, the City Manager, the City Engineer, the City Council with a signature line for the Mayor and City Secretary. Additional statements may be required.
<b>Road And Right-Of-Way Information</b>	
X	Provide the name, location, length and right-of-way widths of all proposed road and existing roads. Provide written confirmation by 911 for proposed road name(s).
N/A	Show the location, size and proposed use of all proposed access easements, or shared access driveways
<b>Drainage</b>	
X	Provide contours as required
X	Show all existing drainage facilities, ditches, culverts, bridges and all creeks, streams, rivers, ponds, lakes, stock tanks and other surface water features
X	Indicate the location and size of all proposed drainage structures
X	Show any required drainage easements
<b>Floodplain</b>	
N	Show the 100 year floodplain, regulatory floodway (if applicable) and base flood elevations or state that none of the subdivision lies within the 100 year floodplain. Include the applicable FIRM community-panel number.
N	Show the limits of the floodplain within a dedicated drainage easement
X	Include the following statement: "All development within the 100-year floodplain shall comply with all applicable orders and regulations, including but not limited to Collin County's "Flood Damage Prevention Order." A floodplain development permit shall be obtained from the City or County Engineer's Office prior to the construction of any structure(s) within the floodplain."
X	Provide a benchmark showing NGVD 29 elevation, with latitude and longitude coordinates
N/A	Minimum finished floor elevations of the building foundations shall be shown for lots adjacent to a flood plain or susceptible to flooding
<b>Utilities</b>	
X	Identify all utility providers on the plat
X	Provide on-site sewage facility study information if outside the municipal sanitary sewer system
N/A	Indicate location of all existing and proposed public and private water wells and show required sanitary easement
X	Show the location and sizes of existing and/or proposed electric, gas, telephone, cable, water and sewer utilities
N/A	Provide recording information on all existing utility easements
<b>Engineering Plans</b>	
X	Cover or title sheet
X	Preliminary plat
N	Final site plan (for nonresidential and multi-family projects only)
N	Existing conditions plan
N	Grading, erosion control, and water quality control plans

*Preliminary Plat Review Checklist*

X	Paving and storm drainage plans
X	Utility plans for water, sanitary sewer, etc.
N/A	Traffic control plans (if necessary)
X	Screening and retaining wall plans if necessary)
X	Landscaping and irrigation plans
X	Engineering plans in accordance with City of Farmersville design manuals and standard construction details



07 June 2017

Mr. Ben White, P.E., City Manager  
City of Farmersville  
205 S Main Street  
Farmersville, Texas 75442

RE: Islamic Association of Collin County Addition  
Preliminary Plat-May 2017 Submittal

Mr. White:

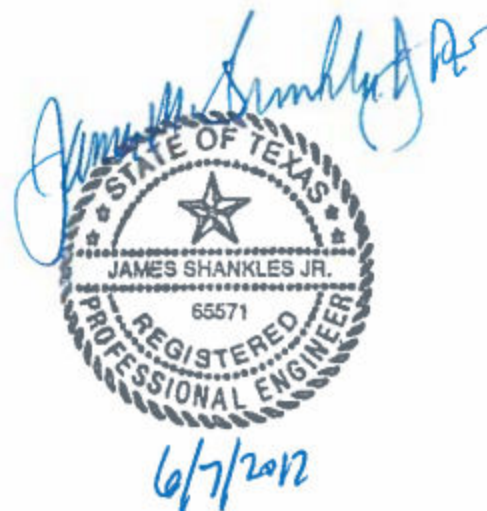
The Islamic Association of Collin County has submitted a preliminary plat and plans for review according to the Zoning and Subdivision Ordinances and Regulations of the City of Farmersville.

The Preliminary Plat and Plans appear to be complete and ready for presentation to the Planning & Zoning Commission.

Please contact me if you have any questions or need additional information.

Sincerely,

  
James M. Shankles, Jr. P.E.



DANIEL & BROWN INC.  
118 MCKINNEY STREET | PO BOX 606 | FARMERSVILLE, TEXAS 75442  
OFFICE 972-784-7777 | WWW.DBICONSULTANTS.COM  
FIRM REGISTRATION NO: F-002225



*In the Name of Allah Most Gracious Most Merciful*  
**Islamic Association of Collin County**

---

June 6, 2017

Mr. Ben White  
City Manager  
Farmersville, Texas

Reference: Perpetual care / maintenance and upkeep of IACC's Cemetery in Farmersville

Dear Mr. White

IACC is a non-profit organization established in 1997 under the statutes of State of Texas and currently owns 34 acres' land in Collin County's extraterritorial jurisdiction in Farmersville, Texas.

IACC has envisioned and planned a monumental project on the 30 plus acres with nice landscape, sophisticated watering and irrigation system, a pavilion, and all the necessary amenities to complement our design. IACC plans to make this an environmentally friendly project by utilizing renewable energy, recycling and other green initiatives available in the market.

Upon the start of the cemetery's construction, IACC will create an entity focused solely on the perpetual operation and maintenance of the cemetery. This entity will manage the day to day operations, maintenance and care of the cemetery, and will also work closely with the City of Farmersville to ensure full compliance with city, state and other cognizant regulatory authorities relating to the required maintenance, health and safety ordinances and statutes.

We look forward to your cooperation and continued support for our project.

Warm Regards

Nafis Khan Pathan  
Islamic Association of Collin County



## COLLIN COUNTY

Fire Marshal's Office  
4690 Community Dr.  
Suite 200  
McKinney, Texas 75071  
972-548-5576  
972-548-5574 fax  
[www.collincountytx.gov](http://www.collincountytx.gov)

11/30/2016

### Islamic Association of Collin County Addition

1. All structures shall be permitted by Collin County.
2. All Fire Lanes shall be a minimum of 20 feet.
3. Turn radius shall be a minimum of 20 feet.
4. Provide Fire Apparatus Access Road to all structure. 20'
5. Provide a second Entrance/Exit to property and structures.
6. Contact local fire department for gate and building access requirements if applicable.  
(Knox Pad Lock or key box entry.)

The plan(s) have been approved and are subject to field verification and inspections. Please contact our office for a fire final and certificate of occupancy inspection prior to opening.

If you need any further assistance please contact our office.

Curtis (Dale) Maberry  
Asst. Fire Marshal  
[cmaberry@co.collin.tx.us](mailto:cmaberry@co.collin.tx.us)



Texas-New Mexico  
Power Company

1001 N. Foundation Drive  
Pilot Point, Texas 76258

June 13, 2017

IACC Cemetery  
333 CR. 557  
Farmersville, TX 75442

RE: TNMP Electrical service to IACC Cemetery

Texas-New Mexico Power Company (TNPE) hereby agrees to provide electrical service to the above mentioned property in accordance with our rate and extensions policies as filed with the Public Utility Commission of Texas.

If you have any questions regarding the above mentioned project, please call me.  
972-571-9783

Sincerely,

A handwritten signature in cursive script that reads "Brian Verdin".

Brian Verdin  
Sr. Designer



16 June 2017

Planning and Zoning Commission  
City of Farmersville  
205 South Main Street  
Farmersville, Texas 75442

Subject: Islamic Association of Collin County Addition Preliminary Plat Submission Letter

Dear Planning and Zoning Commission,

The preliminary plat documentation for the Islamic Association of Collin County Addition is complete and ready for submission to the City of Farmersville Planning and Zoning Board. The documentation meets the required submission standards with no exceptions.

Sincerely,

A handwritten signature in blue ink, appearing to read "B. White", is written over a light blue horizontal line.

Benjamin L. White, P.E., CPM  
City Manager/Public Works Director  
City of Farmersville  
205 South Main Street  
Farmersville, Texas 75442

 [Print Friendly Version](#)

### Property Tax Record

Kenneth L. Maun  
 Collin County Tax Assessor/Collector  
 2300 Bloomdale Rd. Ste 2324  
 McKinney, TX 75071  
 Ph: 972-547-5020

[New Search](#)

**Account:** R646700000401  
 APD: 1197582  
**Location:** 0000000AUDIE MURPHY PKWY E  
**Legal:** ABS A0467 JAS INNERARITY SURVE  
 Y. TRACT 4, 32.075 ACRES  
**Owner:** ISLAMIC ASSOCIATION OF COLLIN  
 COUNTY (IACC)  
 6401 INDEPENDENCE PKWY  
 PLANO TX 75023--403

**Acres:** 32.075  
**Yr Built:** 0  
**Sq Ft:** 0  
**Def. Start:** NONE  
**Def. End:** NONE  
**Roll:** R  
**UDI:** 100%

**2016 Values**  
 Land Non-Home Site 362448  
**2016 Exemptions**

Click on the e-Statement button to view Total Tax Due.

Click on the e-Payment button to make a credit card or eCheck payment.

[Current status](#)

[All years](#)

[Tax Estimator](#)

[e-Payment](#)

[e-Statement](#)

Year	Unit	Levy Amount	Amount Paid	Levy Due	Penalty	Interest	Col Penalty	Total Due	Receipt Date
2016	01	755.32	838.41	0.00	0.00	0.00	0.00	0.00	4/28/2017
2016	55	5,038.03	5,592.21	0.00	0.00	0.00	0.00	0.00	4/28/2017
2016	60	294.39	326.77	0.00	0.00	0.00	0.00	0.00	4/28/2017
2016		6,087.74	6,757.39	0.00	0.00	0.00	0.00	0.00	
<b>Totals</b>									



[Print Friendly Version](#)

### Property Tax Record

Kenneth L. Maun  
Collin County Tax Assessor Collector  
2300 Bloomdale Rd, Ste 2324  
McKinney, TX 75071  
Ph: 972-547-5020

[New Search](#)

**Account:** R646700000701  
**APD:** 1197617  
**Location:** 000000W AUDIE MURPHY PKWY  
**Legal:** ABS A0467 JAS INNERARITY SURVE  
Y, TRACT 7. 1.9091 ACRES  
**Owner:** ISLAMIC ASSOCIATION OF COLLIN  
COUNTY (IACC)  
6401 INDEPENDENCE PKWY  
PLANO TX 75023--403

**Acres:** 1.909  
**Yr Built:** 0  
**Sq Ft:** 0  
**Def. Start:** NONE  
**Def. End:** NONE  
**Roll:** R  
**UDI:** 100%

**2016 Values**  
Land Non-Home Site 85910  
**2016 Exemptions**

Click on the e-Statement button to view Total Tax Due.

Click on the e-Payment button to make a credit card or eCheck payment.

[Current status](#)

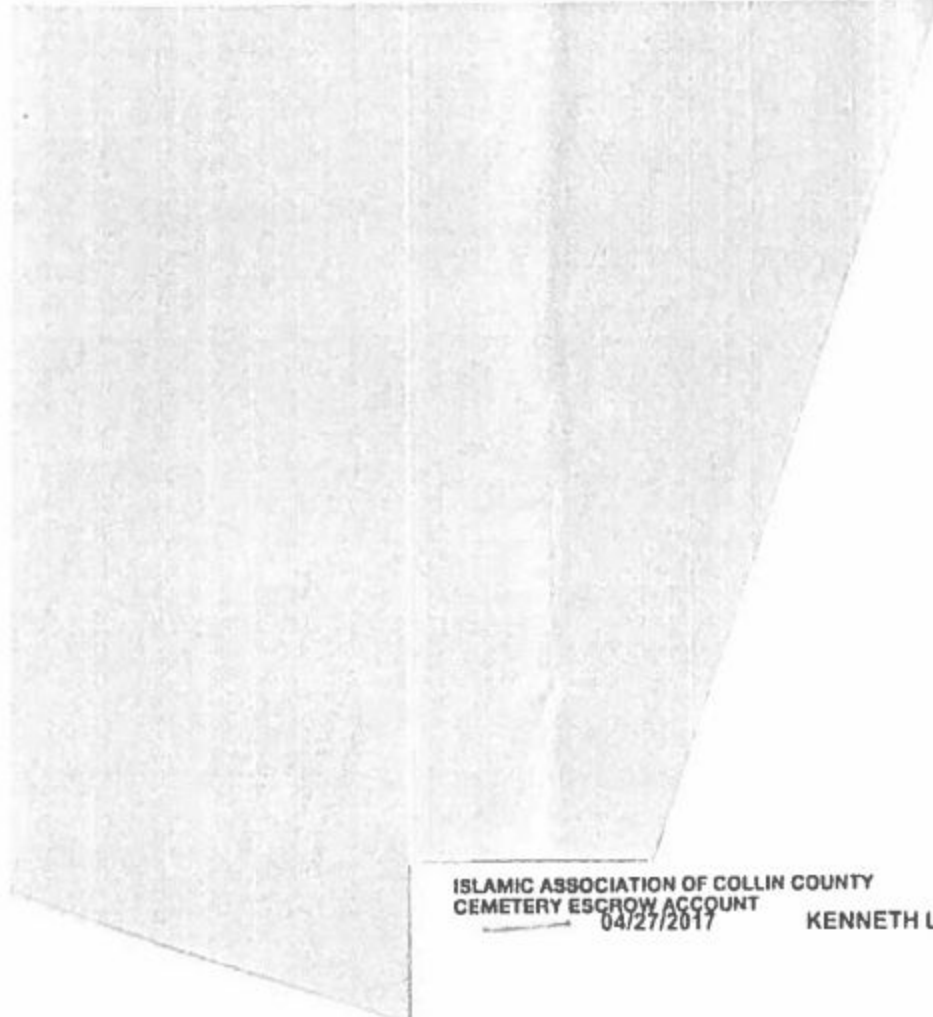
[All years](#)

[Tax Estimator](#)

[e-Payment](#)

[e-Statement](#)

Year	Unit	Levy Amount	Amount Paid	Levy Due	Penalty	Interest	Col Penalty	Total Due	Receipt Date
2016	01	179.03	198.72	0.00	0.00	0.00	0.00	0.00	4/28/2017
2016	55	1,194.15	1,325.50	0.00	0.00	0.00	0.00	0.00	4/28/2017
2016	60	69.78	77.45	0.00	0.00	0.00	0.00	0.00	4/28/2017
2016		1,442.96	1,601.67	0.00	0.00	0.00	0.00	0.00	
<b>Totals</b>									



ISLAMIC ASSOCIATION OF COLLIN COUNTY  
CEMETERY ESCROW ACCOUNT  
04/27/2017 KENNETH L. MAUN

Account# R646700000701  
Account# R646700000401

10014

1,601.67  
6,757.39

1001000 Cemetery 0203

Account# R646700000701/Account # R646700000401

8,359.06

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

**GENERAL WARRANTY DEED**  
**(Cash)**

THE STATE OF TEXAS     §  
                                   §     KNOW ALL MEN BY THESE PRESENTS:  
COUNTY OF COLLIN     §

THAT THE UNDERSIGNED, Brenda Moreland, hereinafter referred to as "Grantor," whether one or more, for and in consideration of the sum of TEN DOLLARS (\$10.00) cash, and other good and valuable consideration in hand paid by the Grantee, herein named, the receipt and sufficiency of which is hereby fully acknowledged and confessed, has GRANTED, SOLD and CONVEYED, and by these presents does hereby GRANT, SELL and CONVEY unto Akram Syed herein referred to as "Grantee," whether one or more, the real property described as follows:

Tract 1:

All that certain lot, tract or parcel of land situated in Collin County, Texas, a part of the James Innerarity Survey, Abstract Number 487, and being 2.815 acres out of the East portion of a 11.45 acre tract as described in a deed from J. M. Shelton et ux to R. E. Burris dated July 24, 1959, and recorded in Volume 566, Page 66 of the Collin County Deed Records, and the said 2.815 acres being more particularly described by metes and bounds as follows  
BEGINNING at a corner post in the most Southerly Southeast corner of the said 11.45 acre tract;  
THENCE N 00° 10' E with an established fence line along the most Westerly East line of the said tract a distance of 304.3 feet to a corner post. Same being an inner corner of the said tract;  
THENCE S 88° 45' E with the most Northerly South line of the said tract a distance of 246.6 feet to a stake in the East line of the said tract;  
THENCE N 3° 00' E with the East line of the said tract a distance of 45.0 feet to a concrete R.O.W. marker, said marker being in the South R.O.W. line of State Highway No. 24;  
THENCE in a Westerly direction with the South R.O.W. line of the said highway as follows:  
S 80° 30' W, 56.0  
N 01° 00' E 160.0 feet a concrete marker;  
N 89° 58' W 110.0 feet a concrete marker;  
S 54° 33' W 103.2 feet a concrete marker;  
N 77° 26' W 195.6 feet a concrete marker;  
THENCE S 00° 10' W, a distance of 473.2 feet to an iron stake in the South line of the said tract;  
THENCE S 88° 45' E with the South line of the said tract a distance of 192.0 feet to the PLACE OF BEGINNING containing 2.815 acres of land.  
SAVE AND EXCEPT that portion of subject property conveyed in Warranty Deed with Vendor's Lien, filed of record on August 27, 1975, recorded in Volume 966, Page 844, Real Property Records, Collin County, Texas. FURTHER SAVE AND EXCEPT that portion of subject property conveyed in Deed filed of record under Clerk's File No(s) 2008-638740, Real Property Records, Collin County, Texas.

Tract 2

Situated in Collin County, Texas, and being a part of the James Innerarity Survey;  
BEGINNING at a stake in the West Boundary Line of the Morgan C. Hamilton survey of 320  
acres, 8.96 chains South of its NW Corner;

THENCE North 88 degrees West 17.38 chains, a stake;

THENCE South 2 degrees West 20.30 chains, a stake;

THENCE East 17.12 chains, a stake;

THENCE North 19.76 chains to the place of beginning, containing 34.55 acres of land.

SAVE AND EXCEPT that portion of subject property conveyed in Warranty Deed with Vendor's  
Lien, filed of record on August 27, 1975, recorded in Volume 966, Page 844, Real Property  
Records, Collin County, Texas.

This conveyance, however, is made and accepted subject to any and all validly existing  
encumbrances, conditions and restrictions, relating to the hereinabove described property as now  
reflected by the records of the County Clerk of COLLIN County, Texas.

TO HAVE AND TO HOLD the above described premises, together with all the rights and  
appurtenances lawfully accompanying it, by the Grantee, Grantee's heirs, executors, administrators,  
successors and/or assigns forever; and Grantor does hereby bind Grantor, Grantor's heirs, executors,  
administrators, successors and/or assigns to WARRANT AND FOREVER DEFEND all the said premises  
unto the said Grantee, Grantee's heirs, executors, administrators, successors and/or assigns, against  
every person whomsoever claiming or to claim the same or any part thereof.

Current ad valorem taxes on said property having been prorated, the payment thereof is assumed  
by Grantee

EXECUTED this date: July 14 2015

  
Brenda Moreland

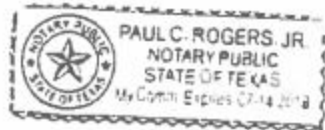
Grantee's Address

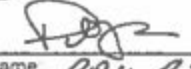
ACKNOWLEDGMENT

STATE OF TEXAS

COUNTY OF COLLIN

This instrument was acknowledged before me on July 14th 2015, by Brenda Moreland



  
Notary Name: Paul Rogers  
State of: TEXAS  
County of: COLLIN  
Expires: 7-14-16

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER

GENERAL WARRANTY DEED  
(Cash)

THE STATE OF TEXAS

§  
§  
§

COUNTY OF COLLIN

KNOW ALL MEN BY THESE PRESENTS

THAT THE UNDERSIGNED, Akram Syed, hereinafter referred to as "Grantor," whether one or more, for and in consideration of the sum of TEN DOLLARS (\$10.00) cash, and other good and valuable consideration in hand paid by the Grantee, herein named, the receipt and sufficiency of which is hereby fully acknowledged and confessed, has GRANTED, SOLD and CONVEYED, and by these presents does hereby GRANT, SELL and CONVEY unto Islamic Association of Collin County (IACC) herein referred to as "Grantee" whether one or more, the real property described as follows:

## Tract 1:

All that certain lot, tract or parcel of land situated in Collin County, Texas, a part of the James Innerarity Survey, Abstract Number 467, and being 2.815 acres out of the East portion of a 11.45 acre tract as described in a deed from J. M. Shelton et ux to R. E. Burris dated July 24, 1959, and recorded in Volume 566, Page 66, of the Collin County Deed Records, and the said 2.815 acres being more particularly described by metes and bounds as follows:

BEGINNING at a corner post in the most Southerly Southeast corner of the said 11.45 acre tract; THENCE N 00° 10' E with an established fence line along the most Westerly East line of the said tract a distance of 304.3 feet to a corner post. Same being an inner corner of the said tract; THENCE S 88° 45' E with the most Northerly South line of the said tract a distance of 246.6 feet to a stake in the East line of the said tract;

THENCE N 3° 00' E with the East line of the said tract a distance of 45.0 feet to a concrete R.O.W. marker, said marker being in the South R.O.W. line of State Highway No. 24;

THENCE in a Westerly direction with the South R.O.W. line of the said highway as follows: S 80° 30' W, 55.0

N 01° 00' E, 160.0 feet a concrete marker;

N 69° 58' W, 110.0 feet a concrete marker;

S 54° 33' W, 103.2 feet a concrete marker;

N 77° 26' W, 195.6 feet a concrete marker;

THENCE S 00° 10' W, a distance of 473.2 feet to an iron stake in the South line of the said tract;

THENCE S 88° 45' E with the South line of the said tract a distance of 192.0 feet to the PLACE OF BEGINNING containing 2.815 acres of land.

SAVE AND EXCEPT that portion of subject property conveyed in Warranty Deed with Vendor's Lien, filed of record on August 27, 1975, recorded in Volume 966, Page 844, Real Property Records, Collin County, Texas. FURTHER SAVE AND EXCEPT that portion of subject property conveyed in Deed filed of record under Clerk's File No(s) 2008-638740, Real Property Records, Collin County, Texas.

Tract 2

Situated in Collin County Texas, and being a part of the James Inneranty Survey;  
BEGINNING at a stake in the West Boundary Line of the Morgan C. Hamilton survey of 320  
acres, 8.96 chains South of its NW Corner;  
THENCE North 88 degrees West 17.38 chains a stake  
THENCE South 2 degrees West 20.30 chains a stake,  
THENCE East 17.12 chains a stake  
THENCE North 19.76 chains to the place of beginning, containing 34.55 acres of land  
SAVE AND EXCEPT that portion of subject property conveyed in Warranty Deed with Vendor's  
Lien, filed of record on August 27, 1975, recorded in Volume 966, Page 844, Real Property  
Records, Collin County, Texas

This conveyance, however, is made and accepted subject to any and all validly existing  
encumbrances, conditions and restrictions relating to the hereinabove described property as now  
reflected by the records of the County Clerk of COLLIN County, Texas

TO HAVE AND TO HOLD the above described premises together with all the rights and  
appurtenances lawfully accompanying it, by the Grantee, Grantee's heirs, executors, administrators,  
successors and/or assigns forever; and Grantor does hereby bind Grantor, Grantor's heirs, executors,  
administrators, successors and/or assigns to WARRANT AND FOREVER DEFEND all the said premises  
unto the said Grantee, Grantee's heirs, executors, administrators, successors and/or assigns, against  
every person whomsoever claiming or to claim the same or any part thereof

Current ad valorem taxes on said property having been prorated, the payment thereof is assumed  
by Grantee

EXECUTED this date

  
Akram Syed

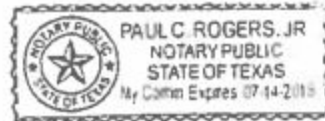
Grantee's Address  
IACC AKA Plano Masjid  
6401 Independence Parkway  
Plano TX 75023


ACKNOWLEDGMENT

STATE OF TEXAS

COUNTY OF COLLIN

This instrument was acknowledged before me on July 14 2015 by Akram Syed.



  
Notary Name: Paul Rogers  
State of: Texas  
County of: Collin  
Expires: 7-14-18

**BUYER'S RECEIPT AND CONFIRMATION**  
*(Made by Natural Person(s))*

Date July 14, 2015

Buyer's Name and Mailing Address Akram Syed  
 4612 Old Pond Drive  
 Plano, TX 75024

Property

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 All that certain lot, tract or parcel of land situated in Collin County, Texas, a part of the James Innerarity Survey, Abstract Number 467, and being 2.815 acres out of the East portion of a 11.45 acre tract as described in a deed from J. M. Shelton et ux to R. E. Burris dated July 24, 1959, and recorded in Volume 566, Page 66, of the Collin County Deed Records, and the said 2.815 acres being more particularly described by metes and bounds as follows: BEGINNING at a corner post in the most Southerly Southeast corner of the said 11.45 acre tract;  
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 THENCE N 3° 00' E with the East line of the said tract a distance of 45.0 feet to a concrete R.O.W. marker, said marker being in the South R.O.W. line of State Highway No. 24;  
 THENCE in a Westerly direction with the South R.O.W. line of the said highway as follows:  
 S 80° 30' W, 56.0  
 N 01° 00' E, 160.0 feet a concrete marker;  
 N 89° 58' W, 110.0 feet a concrete marker;  
 S 54° 33' W, 103.2 feet a concrete marker;  
 N 77° 26' W, 195.6 feet a concrete marker;  
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 THENCE North 88 degrees West 17.38 chains, a stake,  
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THENCE North 19.76 chains to the place of beginning, containing 34.55 acres of land.  
SAVE AND EXCEPT that portion of subject property conveyed in Warranty Deed with Vendor's Lien, filed of record on August 27, 1975, recorded in Volume 966, Page 844, Real Property Records, Colin County, Texas.

Buyer (whether one or more, the first person, singular form shall be used herein and shall refer to each and every buyer identified above) on oath swears that the following statements are true and are within the personal knowledge of Buyer:

1. My full legal name is Akram Syed, and I am over the age of eighteen years
2. I acknowledge that I am buying the Property.

*Title Insurance and Commitment - General*

3. I acknowledge that I am receiving an Owner Policy of Title Insurance (Owner Policy) issued by Fidelity National Title Insurance Company (referred to as Underwriter) through Lawyers Title Company (referred to as Agent) in the amount of the purchase price of the Property.
4. I acknowledge receipt of the following:
  - Commitment for Title Insurance with Issued date June 30 2015
  - Copies of covenants, conditions, restrictions, easements and other documents shown as exceptions on Schedule B of the Commitment.
5. I understand that, in addition to the exceptions shown on the Commitment, the Owner Policy promulgated by the Texas Department of Insurance contains Exclusions from Coverage.

*Title Insurance - Rights of Parties in Possession*

6. I confirm that Agent has informed me that unless Agent makes a physical inspection of the Property, my Owner Policy will contain a general exception as to "rights of parties in possession."
  - I hereby waive any inspection by Agent and agree to accept the policy containing the general exception.

*Title Insurance - Area and Boundaries*

7. I confirm that Agent has informed me that unless an acceptable survey is furnished and an additional premium paid, my Owner Policy will contain a general exception as to "any discrepancies, conflicts, or shortages in area or boundary lines, or any encroachments or protrusions, or any overlapping of improvements."
  - I do not wish to provide a survey and/or to pay the additional premium and agree to accept the policy containing the general exception.

*Title Insurance - Taxes*

8. I acknowledge that my Owner Policy will contain an exception to possible "taxes and assessments by any taxing authority for prior years due to change in land usage or ownership," and I confirm that neither Underwriter nor Agent are responsible for assisting me in paying or resolving any such tax issues.
  - I acknowledge receipt of the Tax Certificate or Tax Information Sheet provided to Agent

*Survey or surveyor's plat*

- I acknowledge receipt of a survey of the Property dated NA
9. I confirm that Agent has made no representations to me regarding any matters shown on said survey and I accept the Property subject to any matters shown on said survey and agree to hold harmless Underwriter and Agent from any and all costs, damages and expenses in any way arising from such matters



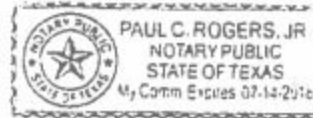
10 If no survey or surveyor's plat was received, I confirm that I did not request or require a survey.


Other representations:

- 11. Anyone concerned may rely on these statements
- 12 I agree to indemnify and hold Fidelity National Title Insurance Company, Underwriter and its Agent harmless from any loss or expense, including reasonable attorney fees, resulting from false or incorrect information in this affidavit

Akram Syed

SIGNED under oath before me on July 14 2015




  
 Notary Name PAUL ROGERS  
 State of TEXAS  
 County of COLLIN  
 Expires 7-14-18

STATE OF TEXAS  
COUNTY OF COLLIN

This instrument was acknowledged before me on July 14 2015 by Akram Syed.



  
 Notary Name PAUL ROGERS  
 State of TEXAS  
 County of COLLIN  
 Expires 7-14-18

**ACKNOWLEDGMENT AND AGREEMENT**  
***(Delayed Funding)***

July 14, 2015

Property 2775 Audie Murphy Parkway West Farmersville TX 75442

Buyer/Borrower Akram Syed

Seller Brenda Moreland

Lender

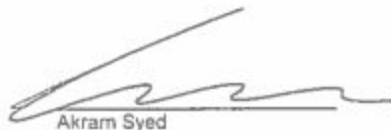
Escrow Agent Lawyers Title Company

*Acknowledgment*

1. Buyer/Borrower (and Seller, if applicable) have been advised by Escrow Agent that funding of their transaction is dependent upon funding of the loan by Lender (hereinafter called Loan Funding)
2. Buyer/Borrower (and Seller, if applicable) understand that no disbursement of funds shall occur and in the case of a purchase and sale transaction, Buyer/Borrower shall own no interest in the Property until Loan Funding.
3. Buyer/Borrower and/or Seller understand that no existing loans will be paid and that interest on any such loans will continue to accumulate until Loan Funding.
4. At such time as Loan Funding occurs, Escrow Agent shall disburse all funds and record appropriate documents of conveyance.

*Agreements and Indemnity*

5. Should Buyer/Borrower take possession of the property prior to Loan Funding, Buyer/Borrower and Seller release Escrow Agent from any liability, including liability which may occur in the event that Loan Funding does not occur. Such release includes but is not limited to, any loss resulting from Buyer/Borrower failing to have or obtain adequate insurance coverage on, or legal title to, the Property.
6. Buyer/Borrower (and Seller, if applicable) agree to save and hold harmless Escrow Agent from any liability arising under and as a result of any delay in Loan Funding, and further agree that Escrow Agent may, at its option, require the receipt, release and authorization in writing of all parties before paying money or delivering or redelivering documents or property to any party or to third parties. Escrow Agent shall not be liable for any interest or other charges on the money held by it.



Akram Syed

Lawyers Title Company

By   
Paul Rogers, Escrow Officer



Brenda Moreland

RECEIVED City Hall  
DATE 3-20-17  
BY [Signature]

TEXAS SALES AND USE TAX EXEMPTION CERTIFICATION

ISLAMIC ASSOCIATION OF COLLIN COUNTY	
6401 INDEPENDENCE PKWY	972-451-6800
PLANO, TX 75073	

I, the purchaser named above, claim an exemption from payment of sales and use taxes on the purchase of taxable items described below or on the attached order or invoice from:

Seller \_\_\_\_\_  
Street address \_\_\_\_\_ City, State ZIP code \_\_\_\_\_  
Description of items purchased or on the attached order or invoice \_\_\_\_\_  
\_\_\_\_\_

My sales claim is exempt on the following reason:  
ISLAMIC ASSOCIATION OF COLLIN COUNTY IS A NON-PROFIT ORGANIZATION AND IS EXEMPTED FROM SALES TAX BASED ON ITS SECTION 501(C)(3) TAX ID # 75-2702798

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

sign here [Signature] TREASURER 03/20/17

NOTE: This form is not valid unless the purchaser has provided the correct tax ID number and the seller has provided the correct tax ID number.

Form No. 1-121 (Rev. 10/2012) Page 1 of 1



Lawyers Title Company  
 301 S. Watters Road, Suite 101  
 Allen, TX 75013  
 Phone: 972-727-9898

Closer: Paul Rogers

Escrow No.: 1913302833  
 Settlement Date: 07/14/2015

**BUYER'S CLOSING STATEMENT**

Buyer(s): Akram Syed  
 4512 Old Pond Drive  
 Plano, TX 75024

Seller(s): Brenda Moroland  
 917 Colchester Street  
 Garland, TX 75040

Property: 2775 Audie Murphy Parkway West  
 Farmersville, TX 75442  
 Abs A0467 Jas Innerarity Survey, Tract 4, 32.075 Acres COLLIN COUNTY

	DEBIT	CREDIT
Contract sales price	\$428,000.00	
Deposit or earnest money		\$5,000.00
Buyer Agent Credit		\$13,440.00
County property taxes 1/1/2015 thru 7/14/2015		\$26.65
The following persons, firms or corporations received a portion of the real estate commission amount shown above:		
David Blattner		
Ijaz Bashir		
Amount included in loan origination fee above:	\$0.00	
Lender Atty Doc Prep		
Title services and lender's title insurance to Lawyers Title Company	\$382.00	
Settlement or closing fee	\$350.00	
Guaranty Assessment Recoupment Charge	\$0.00	
E File Fee	\$12.00	
Tax Certificate	\$0.00	
Doc Delivery / Courier / Doc Printing	\$20.00	
Owner Title Policy	\$2,803.00	
Guaranty Assessment Recoupment Charge	\$0.00	
65% of Title Premium to J. Kent Newsom, Attorney at Law		
Government Recording Charges	\$124.00	
Deed/Mortgage/Releases:	\$124.00	
Survey	\$0.00	
<b>***** Sub Total</b>	\$448,506.00	\$18,466.65
<b>Balance Due From Buyer/Borrower</b>		\$430,039.35
<b>Total</b>	\$448,506.00	\$448,506.00

Lawyers Title Company

Akram Syed  
 DATE: \_\_\_\_\_

By: \_\_\_\_\_  
 Paul Rogers



Lawyers Title Company  
 301 S. Watters Road, Suite 101  
 Allen, TX 75013  
 Phone: 972-727-9898

Closer: Paul Rogers

Escrow No.: 1913302833  
 Settlement Date: 07/14/2015

**BUYER'S CLOSING STATEMENT**

Buyer(s): Akram Syed  
 4512 Old Pond Drive  
 Plano, TX 75024

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 Garland, TX 75040

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	DEBIT	CREDIT
Contract sales price	\$448,000.00	
Deposit or earnest money		\$5,000.00
Buyer Agent Credit		\$13,440.00
County property taxes 1/1/2015 thru 7/14/2015		\$26.65
The following persons, firms or corporations received a portion of the real estate commission amount shown above:		
David Blattner		
Ijaz Bashir		
Amount included in loan origination fee above: Lender Atty Doc Prep	\$0.00	
Title services and lender's title insurance to Lawyers Title Company	\$382.00	
Settlement or closing fee	\$350.00	
Guaranty Assessment Recoupment Charge	\$0.00	
E File Fee	\$12.00	
Tax Certificate	\$0.00	
Doc Delivery / Courier / Doc Printing	\$20.00	
Owner Title Policy	\$2,803.00	
Guaranty Assessment Recoupment Charge	\$0.00	
55% of Title Premium to J. Kent Newsom, Attorney at Law		
Government Recording Charges	\$124.00	
Deed/Mortgage/Releases:	\$124.00	
Survey	\$0.00	
<b>***** Sub Total</b>	\$448,506.00	\$18,466.65
<b>Balance Due From Buyer/Borrower</b>		\$430,039.35
<b>Total</b>	\$448,506.00	\$448,506.00

Lawyers Title Company

Akram Syed  
 DATE: \_\_\_\_\_

By: \_\_\_\_\_  
 Paul Rogers



Lawyers Title Company  
 301 S. Watters Road, Suite 101  
 Allen, TX 75013  
 Phone: 972-727-9898

Closer: Paul Rogers

Escrow No.: 1913302833  
 Settlement Date: 07/14/2015


**SELLER'S CLOSING STATEMENT**

Seller(s): Brenda Moreland  
 917 Colchester Street  
 Garland, TX 75040

Buyer(s): Akram Syed  
 4512 Old Pond Drive  
 Plano, TX 75024

Property: 2775 Audie Murphy Parkway West  
 Farmersville, TX 75442  
 Abs A0467 Jas Innearity Survey, Tract 4, 32.075 Acres COLLIN COUNTY

	DEBIT	CREDIT
Contract sales price		\$448,000.00
County property taxes 1/1/2015 thru 7/14/2015	\$26.65	
Commission Paid at Settlement	\$26,880.00	
\$13,440.00 To ReMax Town and Country		
\$13,440.00 To Fifty Star Realty		
The following persons, firms or corporations received a portion of the real estate commission amount shown above:		
David Blattner		
Ijaz Bashir		
Settlement or closing fee to J. Kent Newsom, Attorney at Law	\$350.00	
Owner's title insurance to Lawyers Title Company	\$2,803.00	
E File Fee to Lawyers Title Company	\$6.00	
Tax Certificate to Lawyers Title Company FBO National Tax Net	\$50.95	
Doc Delivery / Courier / Doc Printing to J. Kent Newsom, Attorney at Law	\$20.00	
Document Preparation // WD / ROL to J. Kent Newsom, Attorney at Law	\$100.00	
65% of Title Premium to J. Kent Newsom, Attorney at Law		
Government Recording Charges to Lawyers Title Company	\$28.00	
<b>***** Sub Total</b>	\$30,264.60	\$448,000.00
<b>Balance Due To Seller</b>	\$417,735.40	
<b>Total</b>	\$448,000.00	\$448,000.00

  
 Brenda Moreland  
 DATE: 7-14-2015

Lawyers Title Company  
 By:   
 Paul Rogers

# COPY

## Low Pressure Dosing Design

RECEIVED City Hall  
DATE 3-20-17  
BY Pat S. Shea

Customer Name DYLAN HEDRICK

Address HWY 380

County: COLLIN

CITY FARMERSVILLE

### Design Parameters:

Type of Dwelling : CEMETERY 60 PEOPLE @ 4 GPD 240 GAL Square Footage: <2500 Sq. Ft.

Daily Waste Flow:	240 GPD	Effluent Loading Rate:	0.01 gal/Sq.Ft/day
Septic Tank Size:	1000 Gallon	Pump Tank Size:	500 gallon
Required Absorption are:	2400 Sq. Ft.	Design Absorption Area:	2400 Sq.ft.
Total Length of Laterals:	840 Ft.	Lateral Configuration:	TWO fields
Lateral Pipe Size:	1 1/4"	Lateral Field Dimensions:	6 lines @ 70' ea.
Supply Line Size:	2"	Supply Line Length:	50' - 75'
Number of Holes:	168 (both fields)	Hole Size 1/8- Spacing:	5'
Total Flow:	42 GPM	Total Head:	7.2'
Pump Requirements:	0.5 HP	Storage Vol. in Supply Line:	4.07 gallons
Storage Volume in Fields:	33.6 gallon	Total Storage Vol.	37.67 gallon
Dosing Volume:	125 gallon	Dosing Depth:	16" - 24"
Check Valve needed:	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no	Return Vent Needed:	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
Secondary Treatment:	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no	Type:	_____

\*

\*\* Note: Recommend using a filter preceding the pump tank (i.e.: Zabel 1800, A100 or similar type)

\*\*\* WITH WATER SAVING DEVICES.

Designed By: [Signature]

Date: 8-25-16 Larry Howard, RS. #3255

TEXAS NATURAL RESOURCES CONSERVATION COMMISSION  
OSSF SOIL/SITE EVALUATION FORM

Requirements:

At least two soil evaluations must be performed on the site, at opposite ends of the proposed disposal area. Please show the results of each soil evaluation on a separate table. Locations of soil evaluations must be shown on the site drawing.

Proposed Excavation Depth: N/A

For subsurface disposal, soil evaluations must be performed to a depth of at least two feet below the proposed excavation depth. For surface disposal, the surface horizon must be evaluated.

Please describe each soil horizon and identify any restrictive features in the space provided below. Draw lines at the appropriate depths.

Soil Boring Number: Lot # <u>A hole 1</u> <u>Hwy 380</u>					
Depth (feet)	Texture Class	Structure (if applicable)	Drainage Mottles / Water Tables	Restrictive Horizon	Comments
0	(Clay) <input checked="" type="checkbox"/>	MASSIVE <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	I RECOMMEND THAT A PROPRIETARY SYSTEM BE INSTALLED AT THIS LOCATION
1	(Silty Clay) <input type="checkbox"/>	BLOCKY <input type="checkbox"/>	NO <input type="checkbox"/>	NO <input type="checkbox"/>	
2	(Sandy Clay) <input type="checkbox"/>	PLATY <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>	
3	(Clay Loam) <input type="checkbox"/>	GRANDULAR <input type="checkbox"/>			
4	(Silty Clay Loam) <input type="checkbox"/>	COLUMNAR <input type="checkbox"/>			
5	(Sandy Clay Loam) <input type="checkbox"/>	PRISMATIC <input type="checkbox"/>			
6	(Sandy Clay) <input type="checkbox"/>				
7	(Silty Loam) <input type="checkbox"/>				
	(Loam) <input type="checkbox"/>				
	(Sandy) <input type="checkbox"/>				
	(Loam) <input type="checkbox"/>				
	(Loamy Sand) <input type="checkbox"/>				
	(Sand) <input type="checkbox"/>				

Soil Boring Number: Lot # <u>hole 2</u>					
Depth (feet)	Texture Class	Structure (if applicable)	Drainage Mottles / Water Tables	Restrictive Horizon	Comments
0	(Clay) <input checked="" type="checkbox"/>	MASSIVE <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	SEE ATTACHED
1	(Silty Clay) <input type="checkbox"/>	BLOCKY <input type="checkbox"/>	NO <input type="checkbox"/>	NO <input type="checkbox"/>	
2	(Sandy Clay) <input type="checkbox"/>	PLATY <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>	
3	(Clay Loam) <input type="checkbox"/>	GRANDULAR <input type="checkbox"/>			
4	(Silty Clay Loam) <input type="checkbox"/>	COLUMNAR <input type="checkbox"/>			
5	(Sandy Clay Loam) <input type="checkbox"/>	PRISMATIC <input type="checkbox"/>			
6	(Sandy Clay) <input type="checkbox"/>				
7	(Silty Loam) <input type="checkbox"/>				
	(Loam) <input type="checkbox"/>				
	(Sandy) <input type="checkbox"/>				
	(Loam) <input type="checkbox"/>				
	(Loamy Sand) <input type="checkbox"/>				
	(Sand) <input type="checkbox"/>				



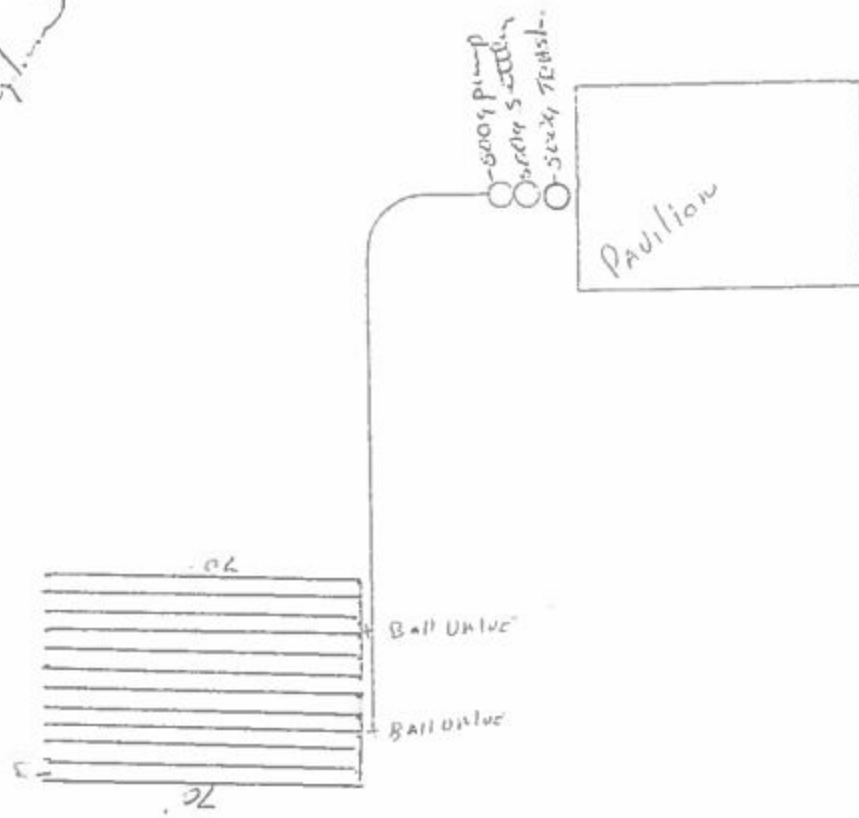
I certify that the findings of this report are based on my field observations and are accurate to the best of my ability.

[Signature]  
Signature of Site Evaluator

972-782-7380 OS# 0012103  
Phone Number



SEE PLATE.  
FOR LOCATION  
OF TIE-BACK  
FUNCTION



INSERT

Perryman  
8-25-16  
Scale 1"=40'





Lupton BS  
 8/25/16  
 SEE INSERT.



**COPY**



RECEIVED City Hall  
DATE 3-20-17  
BY [Signature]

SUBSURFACE INVESTIGATION REPORT for  
PROPOSED CEMETERY  
2775 West Audie Murphy Parkway  
Farmersville, Texas

PROJECT NO. 15-DG7115

Prepared for:

ISLAMIC ASSOCIATION OF COLLIN COUNTY  
Plano, Texas

Prepared by:

GEOSCIENCE  
ENGINEERING & TESTING, INC.  
Dallas, Texas

January, 2015

COPY



Project No. 15-DG7115

January 30, 2015

*Islamic Association of Collin County*  
6400 Independence Parkway  
Plano, Texas 75023

Re: Subsurface Investigation Report for  
Proposed Cemetery at  
2775 West Audie Murphy Parkway  
Farmersville, Texas

*Geoscience Engineering & Testing, Inc.* is pleased to submit this geotechnical data report for the above referenced location authorized by Mr. Akram Syed. This report briefly describes the procedures employed in our subsurface exploration and presents the results of our investigation.

#### SCOPE OF SERVICES

*Geoscience Engineering and Testing, Inc.* (GETI) was contracted to perform a subsurface field investigation and soil laboratory testing program at the referenced location. This investigation was performed to determine the soil stratigraphy and some of the physical and engineering characteristics of the subsurface soils at the location of the test borings drilled. We were directed to:

1. Drill four (4) borings to a maximum depth of 15 to 21 feet below existing surface;
2. Obtain undisturbed soil samples to determine unit weight, moisture content and Atterberg Limits of the soils at selected depths and
3. Provide a Subsurface Investigation report.

The results of our sampling are presented on the boring logs included in this report. Engineering recommendations were beyond the scope of this service.

## FIELD INVESTIGATION

The field portion of this study consisted of advancing a total of four (4) soil test borings. The borings were advanced using truck-mounted drilling rig to a depth of 15 to 21 feet below ground surface. The borings were advanced using continuous flight augers technique. Undisturbed soil samples were obtained using a 3-inch diameter thin-walled tube sampler pushed into the soil. The un-drained compressive strength of cohesive soils was estimated in the field using a calibrated pocket penetrometer. All soil samples were extruded from the samplers in the field, visually classified, and placed in appropriate containers to prevent loss of moisture or disturbance during transfer to the laboratory.

The boring was drilled using dry auger procedures to observe the water level (if any) at the time of the exploration. These water level observations are recorded on the boring log.

Detailed records of field observations and descriptions of the soils encountered at the boring locations are recorded on the field boring logs. This field logs were later reviewed and edited by a member of our engineering staff to incorporate information obtained from laboratory examination and testing. Final logs of the borings are presented on Plates 1 and 4 in the ILLUSTRATION Section of this report.

## GENERAL SUBSURFACE CONDITIONS

Based on our interpretation of the boring drilled for this study, the subsurface stratigraphy encountered at this site consists predominately of clay soils underlain by shaly clay deeper underlain by gray weathered shale.

More specifically, the subsurface stratigraphy encountered within the test borings drilled consisted of gray and tan CLAY (CH) from existing ground surface elevation to a depth of 4.5 to 7 feet. Below 4.5 to 7 feet, tan and gray blocky structured SHALY CLAY (CH) soils with calcareous nodules were encountered and remained visible to a depth of 13.5 to 20 feet. At 13.5 and 20 feet, gray highly weathered SHALE was encountered and remained visible to the completion depths of tests borings drilled.

Detailed descriptions of the subsurface stratigraphy encountered at the locations of the test borings drilled for this study are included on Plates 1 and 4 in the Illustrations section of this report.

### Subsurface Water Conditions

All the borings were advanced using dry auger drilling procedures in order to observe any groundwater seepage levels. At the time of this investigation, groundwater seepage was encountered at 18 feet during

drilling and upon completion of drilling at the location of test boring B-3; however NO ground water seepage was encountered at the location of test borings B-1, B-2 and B-4. Based upon short-term observations, it is not possible to accurately predict the magnitude of subsurface water fluctuations that might occur. In addition, it is not uncommon to detect water seepage at the interface of clay and shale and within the fractures of the soils particularly after periods of heavy rainfall.

#### LABORATORY TESTING

Laboratory tests were performed on the retrieved soil samples to determine general classification and to evaluate some of the physical and engineering properties of the flex base.

Moisture content tests, Atterberg limits tests were performed on selected soil samples to determine the Plasticity Index (PI). All laboratory tests were performed in general accordance with the applicable ASTM Procedures.

The type and number of laboratory tests performed for this investigation are as follows:

Description of Tests	Number of test
Hand Penetrometer Test	26
Moisture Content Test	26
Atterberg Limits	11
Dry Density	1
Unconfined Compressive test	1

Laboratory test results are shown on the boring logs.

#### Potential Vertical Rise

The near surface CLAY/SHALY CLAY soils encountered at this site exhibited Plasticity Indices ranging from 30 to 58. These soils are considered as *highly expansive* in nature and capable of vertical movements with changes in moisture conditions. It should be noted that the magnitude of the soils movements experienced by the foundation will depend on several factors including: the moisture content and thickness of the clays at the time of construction, soil plasticity, rainfall moisture index, local drainage characteristics and other



Subsurface investigation for  
Proposed Cemetery  
2775 West Judge Murphy Parkway  
Farmersville, Texas

related factors. The magnitude of the moisture induced vertical movements was calculated using Texas Department of Transportation method (TxDOT 124-E) in conjunction with current moisture profile. Based on aforementioned method, the estimated soil swell potential at test boring location is on the order of 5.5 to 6.5 inches at existing elevation. More movement will occur in areas where water ponding is allowed to occur during or after construction, where deep seated shaly clay soils are present and/or fluctuations in ground water.

**VARIATIONS IN SUBSURFACE CONDITIONS**

Subsurface conditions have only been obtained from boring locations shown on the Location Plan Plate A. It should be noted that variations in the subsurface may exist in other parts of the site. The soil stratigraphy described herein and on the boring logs is based on visual observations and interpretations during sampling and classification of the soil samples obtained from the test boring drilled.

The following illustrations are attached and will complete this report:

<u>Description</u>	<u>Plate</u>
Location Plan	A
Boring Logs	1 & 4

We appreciate the opportunity to work with you on this project. If you have any questions concerning this report or require additional information, please feel free to contact us.

Respectfully

Very Respectfully,

Geoscience Engineering & Testing, Inc.  
Firm Reg # F-11285, DBE #IMDB51637Y121 HUB #113422734310

Syed S. Afsar, P.E.  
Project Manager

1/30/2015





Subsurface Investigation for  
Proposed Cemetery  
2775 West Audie Murphy Parkway  
Farmersville, Texas

## ILLUSTRATIONS





○ Approximate Boring Location

**BORING LOCATION PLAN**

SUBSURFACE INVESTIGATION REPORT  
Cemetery Project at  
2775 West Audie Murphy Parkway  
Farmersville, Texas

GETI Project No. 15-DG7115

Plate A







# LOG OF BORING NO. B-1

Proposed "Cemetery"  
 2775 West Audie Murphy Parkway  
 Farmsville, Texas  
 Project No. 15-DG7115

FIELD DATA				LABORATORY DATA									
DEPTH (ft.)	SOIL & ROCK SYMBOL	SAMPLE TYPE P. HAND PEN., TSF T. THD. BLOWS/FT. N. SPT. BLOWS/FT.	STRATUM DEPTH (FT.)	DESCRIPTION OF STRATUM									
				WATER CONTENT, %	LIQUID LIMIT	PLASTIC LIMIT	PLASTICITY INDEX	UNIT DRY WEIGHT (PCF)	UNCONFINED STRENGTH (TSEL)	% PASSING NO. 200 SIEVE	SOIL SUCTION TEST (TOTAL CM. OF WATER)		
0				Location: See Location Plan									
				Surface Elevation: Unknown									
				Drilling Method: Continuous Flight Auger & Intermittent									
				Date Boring Drilled: 01/20/2015									
				Completion Depth: 15									
				Groundwater Information: Seepage Encountered During Drilling: None Upon Completion: Dry									
0		P2 0		Gray and tan CLAY (CH)									
		P3 0		27									
		P3 25	4.5	24									
		P4 5 +		20	50	20	30				67		
5		P4 5 +		Tan and gray SHALY CLAY (CH) with calcareous nodules									
		P4 5 +		15									
10		P4 5 +		20	89	31	58						
			13.5										
15		P4 5 +	15	Gray highly weathered SHALE									
				26									
20													
25													
30													
				REMARKS:									
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TUBE SAMPLE	AUGER SAMPLE	SPLIT-SPOON	ROCK CORE	THD CONE PEN	NO RECOVERY								



# LOG OF BORING NO. B-2

Proposed "Cemetery"  
 2775 West Audie Murphy Parkway  
 Farmville, Texas  
 Project No. 15-DG7115

FIELD DATA				LABORATORY DATA								
DEPTH (ft.)	SOIL & ROCK SYMBOL	SAMPLE TYPE P: HAND PEN., TSF T: THD, BLOWS/FT. N: SPT, BLOWS/FT.	STRATUM DEPTH (ft.)	DESCRIPTION OF STRATUM				LABORATORY DATA				
				WATER CONTENT, %	LIQUID LIMIT	PLASTIC LIMIT	PLASTICITY INDEX	UNIT DRY WEIGHT (pcf)	UNCONFINED STRENGTH (tsf)	% PASSING NO. 200 SILT	SOIL SUCTION (lb/ft <sup>2</sup> ) (TOTAL CM. OF WATER)	
0		P2 0		Gray and occasional tan CLAY (CH) with calcareous nodules	34	85	32	53				
		P3 0										
		P3 25										
5		P4 5 -	7									
		P4 5 -		Tan and gray SHALY CLAY (CH) with calcareous nodules								
10		P4 5 -	13									
		P4 5 -	15	Gray highly weathered SHALE with shaly clay seams	20	63	23	40				
15												
20												
25												
30												

TUBE SAMPLE	AUGER SAMPLE	SPLIT-SPOON	ROCK CORE	THD CONE PEN.	NO RECOVERY

REMARKS:



# LOG OF BORING NO. B-3

Proposed "Cemetery"  
2775 West Audie Murphy Parkway  
Farmsville, Texas

Project No. 15-DG7115

FIELD DATA				LABORATORY DATA									
DEPTH (ft.)	SOIL & ROCK SYMBOL	SAMPLE TYPE P: HAND PEN., TSF T: THD. BLOWS/FT. N: SPT, BLOWS/FT.	STRATUM DEPTH (ft.)	DESCRIPTION OF STRATUM									
				WATER CONTENT, %	LIQUID LIMIT	PLASTIC LIMIT	PLASTICITY INDEX	UNIT DRY WEIGHT (pcf)	UNCONFINED STRENGTH (kse)	% PASSING NO. 200 SIEVE	SOIL SUCTION TEST (TOTAL CM. OF WATER)		
0				Location: See Location Plan									
				Surface Elevation: Unknown									
				Drilling Method: Continuous Flight Auger & Intermittent									
				Date Boring Drilled: 01/20/2015									
				Completion Depth: 21									
				Groundwater Information:									
				Seepage Encountered During Drilling: 18									
				Upon Completion: 18									
0		P1.5		Gray and occasional tan CLAY (CH) with calcareous nodules									
		P3.5		36									
		P4.5 +		25	65	23	42	95					
		P4.5 +		20									
5		P4.5 +		16									
			7	Tan and gray blocky structured SHALY CLAY (CH) with calcareous nodules									
		P4.5 +		23	79	29	50						
10													
		P2.0		34									
15													
		P1.5	20	32	69	24	45						
20			21	Gray highly weathered SHALE with shaly clay seams									
25													
30													
				REMARKS:									
TUBE SAMPLE	AUGER SAMPLE	SPLIT-SPOON	ROCK CORE	THD CONE PEN.	NO RECOVERY								

# LOG OF BORING NO. B-4

Proposed "Cemetery"  
2775 West Audie Murphy Parkway  
Farmsville, Texas

Project No. 15-DG7115

FIELD DATA				LABORATORY DATA						
DEPTH (FT.)	SOIL & ROCK SYMBOL	SAMPLE TYPE P - HAND PEN., TSP, F - THD, BLOW/SFT, N - SPI, BLOW/SFT	STRATUM DEPTH (FT.)	Location	LABORATORY DATA			SOIL SUCTION TEST (TOTAL CM OF WATER)		
				See Location Plan	WATER CONTENT (%)	LIQUID LIMIT	PLASTIC LIMIT		PLASTICITY INDEX	
DESCRIPTION OF STRATUM				UNIT (RY W/CH)	UNCONFIRMED	STRAIN WITH		SIEVE		
				(%)	(%)	(%)				
Groundwater Information				% PASSING NO. 200						
Seepage Encountered During Drilling				NONE						
Upon Completion				Dry						
0		P3.0		Gray and occasional tan CLAY (CH) with calcareous nodules	23	51	21	30	95	
		P3.0								
		P3.5								
5		P4.0	6.5	Tan and gray blocky structured SHALY CLAY (CH) with calcareous nodules	21					
		P2.5								
10		P4.5			29	70	27	48		
		P4.5								
15		P4.0	20.5							
		P4.0	21	Gray highly weathered SHALE with shaly clay seams	26	76	27	49	99	26
20										
25										
30										







**COPY**

RECEIVED City Hall  
DATE 3-20-17  
BY [Signature]

ARIZONA  
TEXAS  
NEW MEXICO  
OKLAHOMA

September 8, 2016

Lenny Hughes, PLA  
Project Manager  
HALFF ASSOCIATES, INC.  
1201 N. Bowser Road  
Richardson, Texas 75081

Re: Traffic Study for the proposed Cemetery along CR 557 in Farmersville, Texas

Dear Mr. Hughes:

This traffic study was conducted to evaluate the need for a westbound right turn deceleration lane along CR 557 at the proposed driveway for the proposed Cemetery in Farmersville, TX. The proposed development will be located along CR 557. The site is assumed to be operational by 2018. A site location map is shown in Figure 1. The proposed development will be accessible via single access point on CR 557. The proposed site plan (Figure 2) and all other figures are provided as an attachment to this letter.

Figure 1: Site Location Map



**Existing and Background Conditions**

CR 557 is a two lane undivided roadway with a posted speed limit of 40 mph in the vicinity of the proposed site. The existing and proposed intersection lane configurations at the study location are shown in Figure 3.

Existing 24-hour vehicular counts were collected on CR 557 in the vicinity of the proposed site from Sunday, August 28<sup>th</sup>, 2016 to Tuesday August 30<sup>th</sup>, 2016. Figure 4 presents the weekday AM and PM peak hour traffic volumes as well as Sunday peak hour traffic volumes based on the existing 24-hour counts collected as part of this study. These counts are provided as an attachment.

The proposed cemetery is assumed to be operational by 2018. Background traffic volumes at site build out (2018) were obtained by growing the existing traffic volumes at an annual rate of five percent (5%). Figure 4 also shows the build-out year background traffic volumes.

**Trip Generation**

The number of trips generated by a development is a function of the type and quantity of the land use of the development. The number of vehicle trips generated by the proposed development was estimated based on the trip generation rates/equations provided in the publication entitled *Trip Generation Manual, Ninth Edition*, by the Institute of Transportation Engineers (ITE). The trip generation rates in this manual represent weighted averages from trip generation studies conducted throughout the United States and Canada for similar type of developments. Estimates of the number of trips generated by the site were made for the AM and PM peak hours, as well as on a daily basis. The trip generation rates, the directional splits, and the trip generation estimates for the proposed development are shown in Table 1.

**Table 2: Trip Generation Calculations**

Land Use (ITE Land Use)	ITE Code	Variable (X)	Average Weekday	AM Peak Hour	PM Peak Hour	Sunday Peak Hour								
Equation/Rates <sup>1</sup>														
Cemetery	556	Acres	T = 4.73(X)	T = 0.17(X)	T = 0.84(X)	T = 6.21(X) <sup>2</sup>								
Directional Splits <sup>2</sup>														
Cemetery	556	Acres	50/50	70/30	33/67	48/52								
Trips Generated														
Land Use	Amount	Variable (X)	Total	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit
Cemetery	34.27	Acres	162	81	81	6	4	2	29	10	19	213	102	111
<b>TOTAL</b>			<b>162</b>	<b>81</b>	<b>81</b>	<b>6</b>	<b>4</b>	<b>2</b>	<b>29</b>	<b>10</b>	<b>19</b>	<b>213</b>	<b>102</b>	<b>111</b>

<sup>1</sup>T = Trips Ends; <sup>2</sup>Peak hour of the Generator; <sup>3</sup>XX / YY = % entering vehicles / % exiting vehicles

As shown in Table 1, the proposed development is expected to generate 162 total trips (81 vehicles entering and 81 vehicles exiting) on a daily basis with 6 trips during the AM peak hour and 29 trips during the PM peak hour. During the Sunday peak hour, the proposed cemetery is expected to generate 213 total trips.

**Trip Distribution and Assignment**

The existing traffic volumes were reviewed along with the location of the proposed development, site characteristics and knowledge of the study area to determine the directions from which traffic would approach and depart the development. The assumed directional distribution is shown in Figure 5.

Traffic volumes expected to be generated by the proposed development (Table 1) were assigned to the area roadways and site access points based on the directional distribution shown in Figure 5. The resulting site generated traffic volumes at build-out are also shown in Figure 5.

**Total Traffic Volumes**

The projected total traffic volumes at site build-out were obtained by adding the site generated traffic volumes to background traffic volumes. The projected total traffic volumes for the study intersection at site build out are shown in Figure 6.

**Turn Lane Analysis**

Right Turn Deceleration Lane

The site access driveway on CR 557 was analyzed to determine if a right turn deceleration lane would be required. Based on guidelines presented in TxDOT’s *Access Management Manual* and used by several cities in the Dallas-Fort Worth area, right turn deceleration lanes are typically considered under the following conditions:

- Right turn volumes greater than 50 vph (if posted speed limit greater than 45 mph)
- Right turn volumes greater than 60 vph (if posted speed limit less than/equal to 45 mph)

Table 2 summarizes the predicted right turn volumes under build out (2018) total traffic conditions (Figure 6).

**Table 2. Right Turn Deceleration Lane Analysis Results**

Intersection	Approach	Speed Limit (mph)	Volume AM (PM) [Sunday]	Threshold (vph)	Exceed Threshold AM (PM) [Sunday]
Driveway at CR 557	WB	40	2 (4) [41]	60	No (No) [No]

Based on the speed limit of the adjacent roadway, the projected peak hour right turning traffic volumes at the site driveway, and the guidelines specified by TxDOT, installation of a westbound right turn deceleration lane is not recommended along CR 557 at the proposed driveway.

Left Turn Deceleration Lane

The traffic volumes during the weekday AM and PM peak hours as well as Sunday peak hour under site build out (2018) total traffic conditions (figure 6) were used in determining whether an eastbound left turn lane should be considered at the proposed driveway on CR 557.

Based on information presented in Table 3-11 of TxDOT’s *Roadway Design Manual*, minimum criteria to evaluate the need for a left turn deceleration lane are design speed of 40 mph, five percent (5%) left turning vehicles of advancing volume and, 100 opposing vehicles.

- Under the site build out (2018) total traffic conditions the estimated eastbound left turn volumes are less than 5% during the weekday AM and PM peak hour.
- Under the site build out (2018) total traffic conditions the estimated opposing traffic volume for the eastbound left turn movement is less than 100 vehicles per hour during the Sunday peak hour.

Therefore, an eastbound left turn deceleration lane is not recommended along CR 557 at the proposed driveway.

### Sight Distance Evaluation

As part of this traffic analysis, the available and required intersection sight distances for motorists accessing the adjacent roadways from the proposed site access driveway were analyzed. The sight distance required at the proposed site driveways was estimated using the procedures developed by the American Association of State Highway and Transportation Officials (AASHTO) and published in the 2011 edition of *A Policy on Geometric Design of Highways and Streets*. At these locations, the motorist should be able to see if and when adequate gaps exist to perform their desired maneuver. Table 3 presents the required and available sight distance for vehicles exiting the proposed site driveway on CR 557.

Table 3. Site Driveway Sight Distance

Major Roadway	CR 557
Driveway	Driveway at CR 557
Posted Speed Limit	40 mph
Design Vehicle	Passenger Car
Required Intersection Sight Distance	445'
Available Sight Distance to the Left	>500'
Available Sight Distance to the Right	>500'
Sight Distance Available > Required:	
To the Left	YES*
To the Right	YES*

\*Vegetation along the property frontage on CR 557 should be trimmed/Removed

Comparison of the field investigation results of the available sight distance to the required sight distance indicates that the available sight distance is higher than the required sight distance for passenger cars exiting the site with the speed limit of 40 mph for CR 557 adjacent to the site. However, it should be noted that the undeveloped parcel has vegetation along the property frontage that should be trimmed/removed to ensure that sight triangles are kept clear of any obstructions all the time.

## Conclusions

Lee Engineering offers the following conclusions and recommendations:

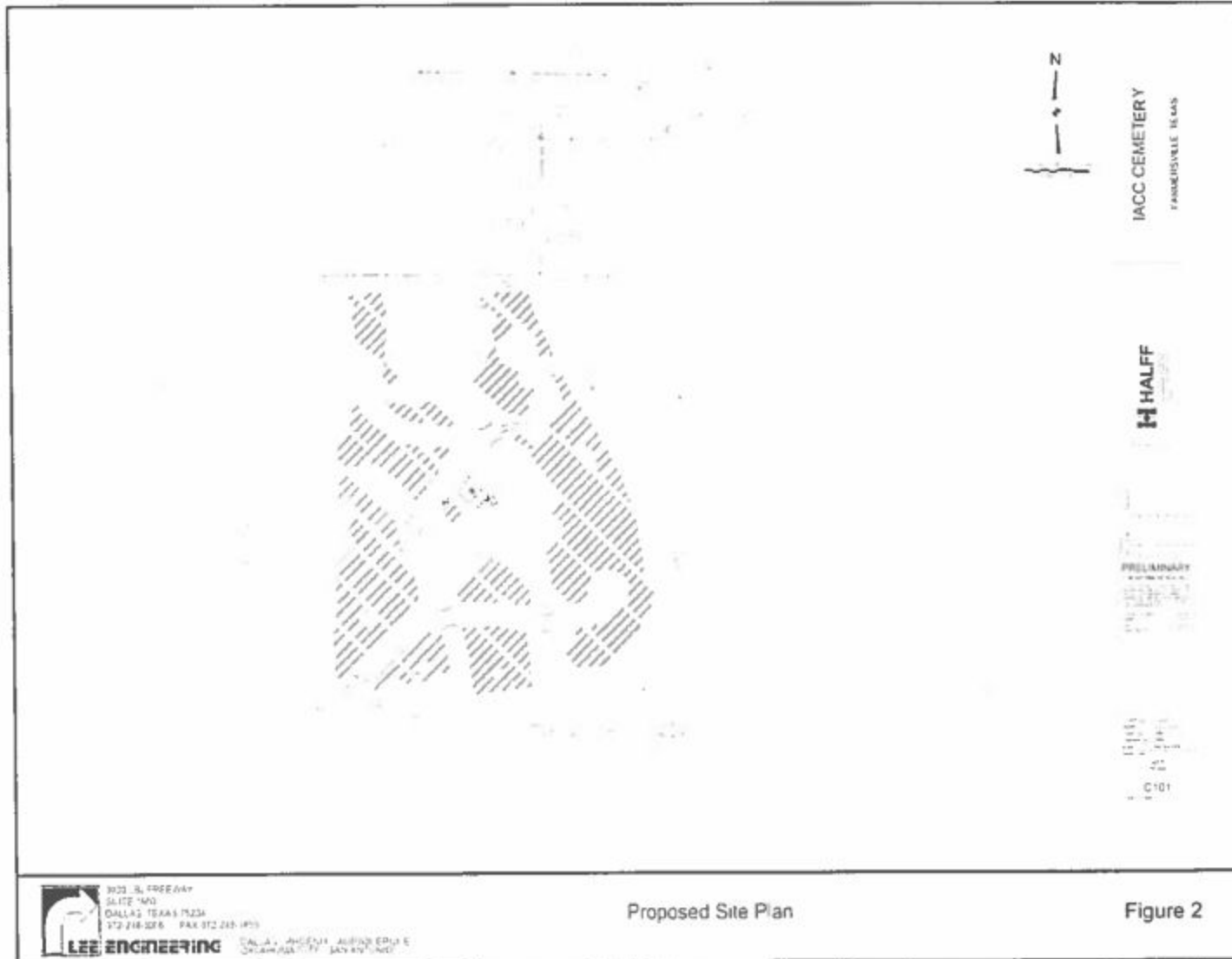
- The proposed development is predicted to generate 162 trips on a daily basis, 6 trips during the AM peak hour and 29 trips during the PM peak hour on a typical weekday. During Sunday peak hour, the proposed development is expected to generate 213 trips.
- Right turn and left turn deceleration lane is not recommended along CR 557 at the proposed driveway.
- The site development process should ensure that the sight triangles are kept clear of any obstructions at the proposed driveway all the time.

We appreciate the opportunity to provide these traffic engineering services for you. Feel free to contact me at (972) 248-3006 should you have any questions.

Sincerely,

  
Digitally signed by Dharmesh Shah  
DN: cn=Dharmesh Shah, o=Lee  
Engineering, LLC, ou  
ema@dharmeshshah.com, c=US  
Date: 2016.09.08 15:27:19 -0500

Dharmesh M. Shah, PE, PTOE, #90295  
Vice President  
Lee Engineering  
Firm No. F-450




 9021 S. FREEWAY  
 SUITE 140  
 DALLAS, TEXAS 75224  
 372-218-3276 FAX 372-248-1975  
 DALLAS, HOUSTON, AUSTIN, DFW &  
 OKLAHOMA CITY, MOBILE, AND...

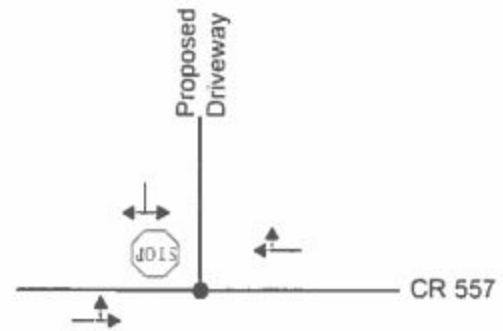
Proposed Site Plan

Figure 2

Existing Lane Configuration



Proposed Lane Configuration



LEGEND

- Study Intersection
- ← Direction of Travel



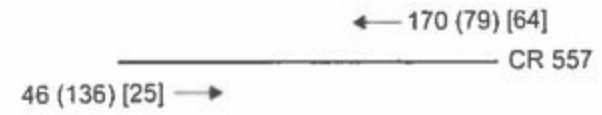
3030 LBJ FREEWAY  
SUITE 1600  
DALLAS TEXAS 75234  
972-248-3066 FAX 972-248-3855

Existing and Proposed Lane Configurations

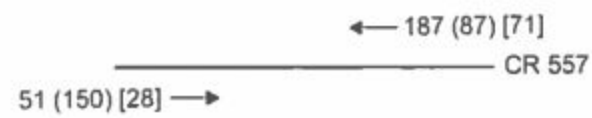
Figure 3

DALLAS - PHOENIX - ALBUQUERQUE  
OKLAHOMA CITY - SAN ANTONIO

Existing (2016) Traffic Volume



Site Build Out (2018) Background Traffic Volume



LEGEND

← Direction of Travel

XX (YY) [ZZ] AM (PM) [Sunday] Peak Hour Volume Based on 24 Hour Count



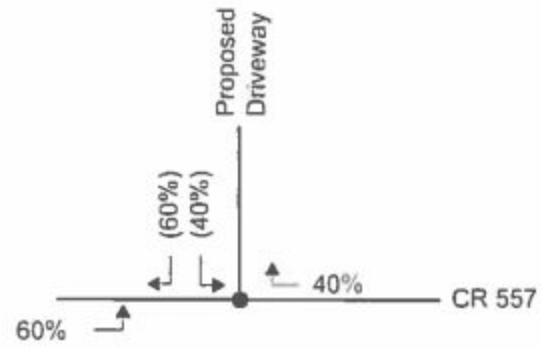
DALLAS - PHOENIX - ALBUQUERQUE  
OKLAHOMA CITY - SAN ANTONIO

Existing and Background Peak Hour Traffic Volume

Figure 4



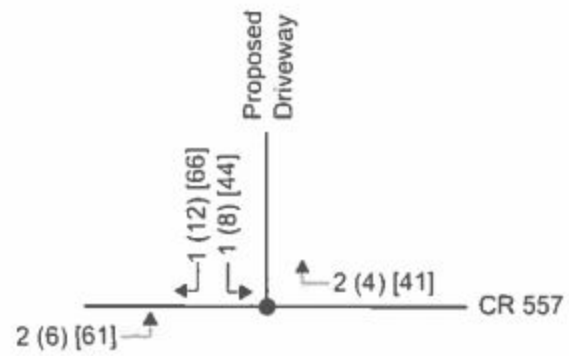
Directional Distribution



LEGEND

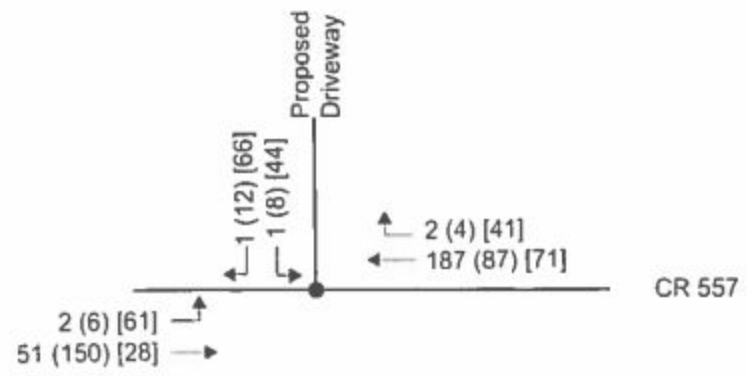
- Study Intersection
- ← Direction of Travel
- XX (YY) Inbound (Outbound) Percentages

Site Generated Peak Hour Traffic Volumes



LEGEND

- Study Intersection
- ← Direction of Travel
- XX (YY) [ZZ] AM (PM) [Sunday] Peak Hour Volume Based on 24 Hour Count



**LEGEND**

- Study Intersection
- ← Direction of Travel
- XX (YY) [ZZ] AM (PM) [Sunday] Peak Hour Volume Based on 24 Hour Count



3030 LBJ FREEWAY  
SUITE 1600  
DALLAS TEXAS 75234  
972-248-3006 FAX 972-248-3855

DALLAS - PHOENIX - ALBUQUERQUE  
OKLAHOMA CITY - SAN ANTONIO

Site Build Out (2018) Total Traffic Volume

Figure 6

Accurate Counts  
 Traffic Data Services  
 (214) 681-6468  
 TWO CHANNEL SUMMARY  
 Starting: 08/28/2016

Site Reference: 000008271603  
 Site ID: 000008271603  
 Location: FM 557-Southeast of US 380

File: D0827002.prn  
 City: Farmersville  
 County:

TIME	LANE 1 EAST		LANE 2 WEST		TOTAL	
	am	pm	am	pm	am	pm
00:15	2	9	2	21	4	30
00:30	2	6	5	13	7	19
00:45	1	5	3	16	4	21
01:00	1 6	5 25	2 12	14 64	3 18	19 89
01:15	3	6	3	12	6	18
01:30	1	3	2	12	3	15
01:45	0	5	3	5	3	10
02:00	0 4	4 18	1 9	12 41	1 13	16 59
02:15	2	2	3	9	5	11
02:30	1	6	1	6	2	12
02:45	1	4	1	19	2	23
03:00	1 5	4 16	1 6	7 41	2 11	11 57
03:15	0	9	0	18	0	27
03:30	0	7	3	16	3	23
03:45	1	4	2	13	3	17
04:00	0 1	6 26	0 5	9 56	0 6	15 82
04:15	1	8	2	15	3	23
04:30	1	7	0	11	1	18
04:45	2	8	3	13	5	21
05:00	0 4	10 33	2 7	15 54	2 11	25 87
05:15	2	5	4	14	6	19
05:30	0	5	2	11	2	16
05:45	0	9	3	17	3	26
06:00	2 4	9 28	5 14	15 57	7 18	24 85
06:15	0	10	2	11	2	21
06:30	1	7	2	9	3	16
06:45	1	6	5	5	6	11
07:00	1 3	4 27	1 10	8 33	2 13	12 60
07:15	2	5	7	9	9	14
07:30	2	6	8	8	10	14
07:45	2	6	2	14	4	20
08:00	2 8	7 24	3 20	13 44	5 28	20 68
08:15	3	10	10	12	13	22
08:30	3	10	7	10	10	20
08:45	3	1	7	7	10	8
09:00	1 10	4 25	9 33	6 35	10 43	10 60
09:15	5	2	7	1	12	3
09:30	5	1	9	7	14	8
09:45	2	2	9	4	11	6
10:00	4 16	5 10	12 37	4 16	16 53	9 26
10:15	5	3	15	6	20	9
10:30	5	3	10	4	15	7
10:45	1	1	12	5	13	6
11:00	3 14	3 10	13 50	3 18	16 64	6 28
11:15	1	2	7	2	8	4
11:30	4	1	8	3	12	4
11:45	7	2	13	1	20	3
12:00	3 15	1 6	18 46	2 8	21 61	3 14

TOTALS	338		716		1054	
AM Times	09:15		10:15		10:00	
AM Peaks	16		50		64	
Factors	PHF: .80		PHF: .83		PHF: .80	
PM Times	17:45		12:15		12:15	
PM Peaks	35		64		89	
Factors	PHF: .87		PHF: .76		PHF: .74	

Accurate Counts  
 Traffic Data Services  
 (214) 691-6468  
 TWO CHANNEL SUMMARY  
 Starting: 08/29/2016

Site Reference: 000008271603  
 Site ID: 000008271603  
 Location: FM 557-Southeast of US 380

File: D0827002.prn  
 City: Farmersville  
 County:

TIME	LANE 1 EAST		LANE 2 WEST		TOTAL	
	am	pm	am	pm	am	pm
00:15	1	4	2	7	3	11
00:30	0	6	0	7	0	13
00:45	2	5	1	15	3	20
01:00	0 3	9 24	0 3	11 40	0 6	20 64
01:15	0	8	0	10	0	18
01:30	0	3	2	10	2	13
01:45	1	12	0	11	1	23
02:00	1 2	6 29	0 2	15 46	1 4	21 75
02:15	1	7	1	15	2	22
02:30	0	9	0	19	0	28
02:45	0	14	1	14	1	28
03:00	0 1	13 43	0 2	17 65	0 3	30 108
03:15	2	8	2	10	4	19
03:30	0	16	1	18	1	34
03:45	0	21	3	21	3	42
04:00	0 2	14 59	2 8	15 64	2 10	29 123
04:15	1	19	3	20	4	39
04:30	0	21	5	19	5	40
04:45	0	45	7	29	7	74
05:00	1 2	27 112	5 20	23 91	6 22	50 203
05:15	2	35	17	23	19	58
05:30	3	44	17	24	20	68
05:45	7	36	28	22	35	58
06:00	6 18	40 155	22 84	18 87	28 102	58 242
06:15	4	33	29	18	33	51
06:30	6	27	33	16	39	43
06:45	18	16	52	14	70	30
07:00	7 35	17 93	45 159	16 64	52 194	33 157
07:15	9	21	46	13	55	34
07:30	7	15	41	10	48	25
07:45	7	5	39	5	46	10
08:00	13 36	8 49	36 162	12 40	49 198	20 89
08:15	13	5	32	11	45	16
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09:00	8 43	6 30	26 109	6 34	34 152	12 64
09:15	9	4	13	8	22	12
09:30	6	7	13	6	19	13
09:45	7	2	12	3	19	5
10:00	2 24	2 15	14 52	4 21	16 76	6 36
10:15	4	1	10	4	14	5
10:30	7	4	10	8	17	12
10:45	7	1	12	3	19	4
11:00	4 22	1 7	8 40	1 16	12 62	2 23
11:15	7	3	13	6	20	9
11:30	2	2	16	3	18	5
11:45	5	0	9	2	14	2
12:00	5 19	1 6	9 47	1 12	14 66	2 18

TOTALS	829	1268	2097
AM Times	09:00	06:45	06:45
AM Peaks	48	184	225
Factors	PHF: .92	PHF: .88	PHF: .80
PM Times	17:15	16:45	16:45
PM Peaks	155	99	250
Factors	PHF: .88	PHF: .85	PHF: .84

Accurate Counts  
 Traffic Data Services  
 (214) 691-6468  
 TWO CHANNEL SUMMARY  
 Starting: 08/30/2016

Site Reference: 000008271603  
 Site ID: 000008271603  
 Location: FM 557-Southeast of US 380

File: D0827002.prn  
 City: Farmersville  
 County:

TIME	LANE 1 EAST		LANE 2 WEST		TOTAL	
	am	pm	am	pm	am	pm
00:15	2	6	2	10	4	16
00:30	0	5	1	14	1	19
00:45	1	4	0	19	1	23
01:00	2 5	5 20	1 4	7 50	3 9	12 70
01:15	1	3	2	18	3	21
01:30	0	7	2	10	2	17
01:45	0	5	0	12	0	17
02:00	0 1	5 20	0 4	17 57	0 5	22 77
02:15	0	11	0	13	0	24
02:30	0	11	0	13	0	24
02:45	0	11	0	19	0	30
03:00	1 1	13 46	0 0	14 59	1 1	27 105
03:15	0	13	3	17	3	30
03:30	5	13	3	21	8	34
03:45	2	21	1	12	3	33
04:00	0 7	25 72	1 8	24 74	1 15	49 146
04:15	0	17	8	16	8	33
04:30	1	30	6	20	7	50
04:45	2	25	3	15	5	40
05:00	1 4	20 92	1 18	20 71	2 22	40 163
05:15	3	27	17	16	20	43
05:30	1	36	16	22	17	58
05:45	11	38	34	23	45	61
06:00	5 20	35 136	33 100	18 79	38 120	53 215
06:15	4	42	29	22	33	64
06:30	8	28	35	14	43	42
06:45	23	21	48	16	71	37
07:00	8 43	22 113	57 169	14 66	65 212	36 179
07:15	8	17	43	14	51	31
07:30	14	19	44	7	58	26
07:45	16	7	44	11	60	18
08:00	8 46	8 51	39 170	11 43	47 216	19 94
08:15	16	8	29	13	45	21
08:30	8	9	28	7	36	16
08:45	10	10	21	10	31	20
09:00	8 42	4 31	22 100	6 36	30 142	10 67
09:15	12	4	21	8	33	12
09:30	8	6	20	5	28	11
09:45	7	1	9	3	16	4
10:00	10 37	3 14	15 65	6 22	25 102	9 36
10:15	1	8	6	6	7	14
10:30	8	3	18	3	26	6
10:45	5	3	21	3	26	6
11:00	9 23	4 18	13 58	5 17	22 81	9 35
11:15	7	3	12	6	19	9
11:30	7	2	15	0	22	2
11:45	3	0	14	3	17	3
12:00	8 25	4 9	11 52	4 13	19 77	8 22

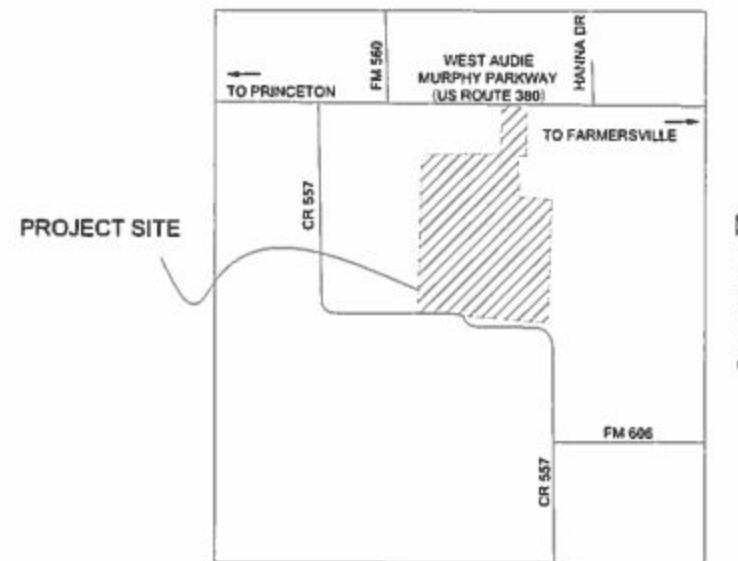
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AM Times	07:30		06:45		06:45	
AM Peaks	54		192		245	
Factors	PHF: .84		PHF: .84		PHF: .86	
PM Times	17:30		17:30		17:30	
PM Peaks	151		85		236	
Factors	PHF: .89		PHF: .92		PHF: .92	



# CONSTRUCTION DOCUMENTS FOR IACC CEMETERY

CITY OF FARMERSVILLE  
COLLIN COUNTY, TEXAS

JUNE 2017



CITY OF FARMERSVILLE, TEXAS  
**LOCATION MAP**  
N.T.S.

SHEET LIST TABLE	
Sheet Number	Sheet Title
C0.01	COVER SHEET
-	PRELIMINARY PLAT
-	EXISTING TOPOGRAPHIC MAP
C0.02	GENERAL NOTES
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C2.01	SITE PLAN
C2.02	BLOCK & PLOT PLAN
C2.03	PAVING PLAN
C2.04	PAVING PLAN 2
C2.05	PAVING DETAILS
C3.01	GRADING PLAN
C3.02	GRADING PLAN 2
C4.01	EXISTING REGION DRAINAGE AREA MAP
C4.02	EXISTING SITE DRAINAGE AREA MAP
C4.03	PROPOSED DRAINAGE AREA MAP
C4.04	STORM SEWER PLAN
C4.05	DETENTION PLAN
C4.06	STORM SEWER DETAILS
C5.01	UTILITY PLAN
C5.02	UTILITY DETAILS
C6.01	EROSION CONTROL PLAN
C6.02	EROSION CONTROL PLAN 2
C6.03	EROSION CONTROL DETAILS
L1.00	OVERALL LANDSCAPE PLAN
L1.01	LANDSCAPE PLAN
L2.01	PLANTING DETAILS AND SPECIFICATIONS
L2.02	PAVILION AND RESTROOM DETAILS
L2.03	LANDSCAPE DETAILS
IR1.01	IRRIGATION PLAN
E1.00	ELECTRICAL SITE PLAN

**ENGINEER**

HALFF ASSOCIATES, INC.  
1201 N. BOWSER ROAD  
RICHARDSON, TX 75081  
CONTACT: DYLAN HEDRICK, PE  
(214) 217-6426  
DHEDRICK@HALFF.COM

**OWNER**

ISLAMIC ASSOCIATION OF COLLIN COUNTY  
6401 INDEPENDENCE PARKWAY  
PLANO, TX 75023  
CONTACT: AKRAM SYED  
(972) 491-5800

**HALFF**  
1201 N. BOWSER ROAD  
RICHARDSON, TEXAS 75081-2275  
TEL (214) 346-6200  
FAX (214) 739-0095  
TBPE FIRM#F-312

**PRELIMINARY**

FOR INTERIM REVIEW ONLY  
NOT BE USED FOR CONSTRUCTION  
IF ANY CHANGES ARE MADE TO THIS  
DRAWING, THE ENGINEER SHALL BE NOTIFIED  
AND THE DRAWING SHALL BE REVISIONED  
BY THE ENGINEER.  
DATE: 06/12/17  
BY: [Signature]

AVO 31492 - IACC CEMETERY

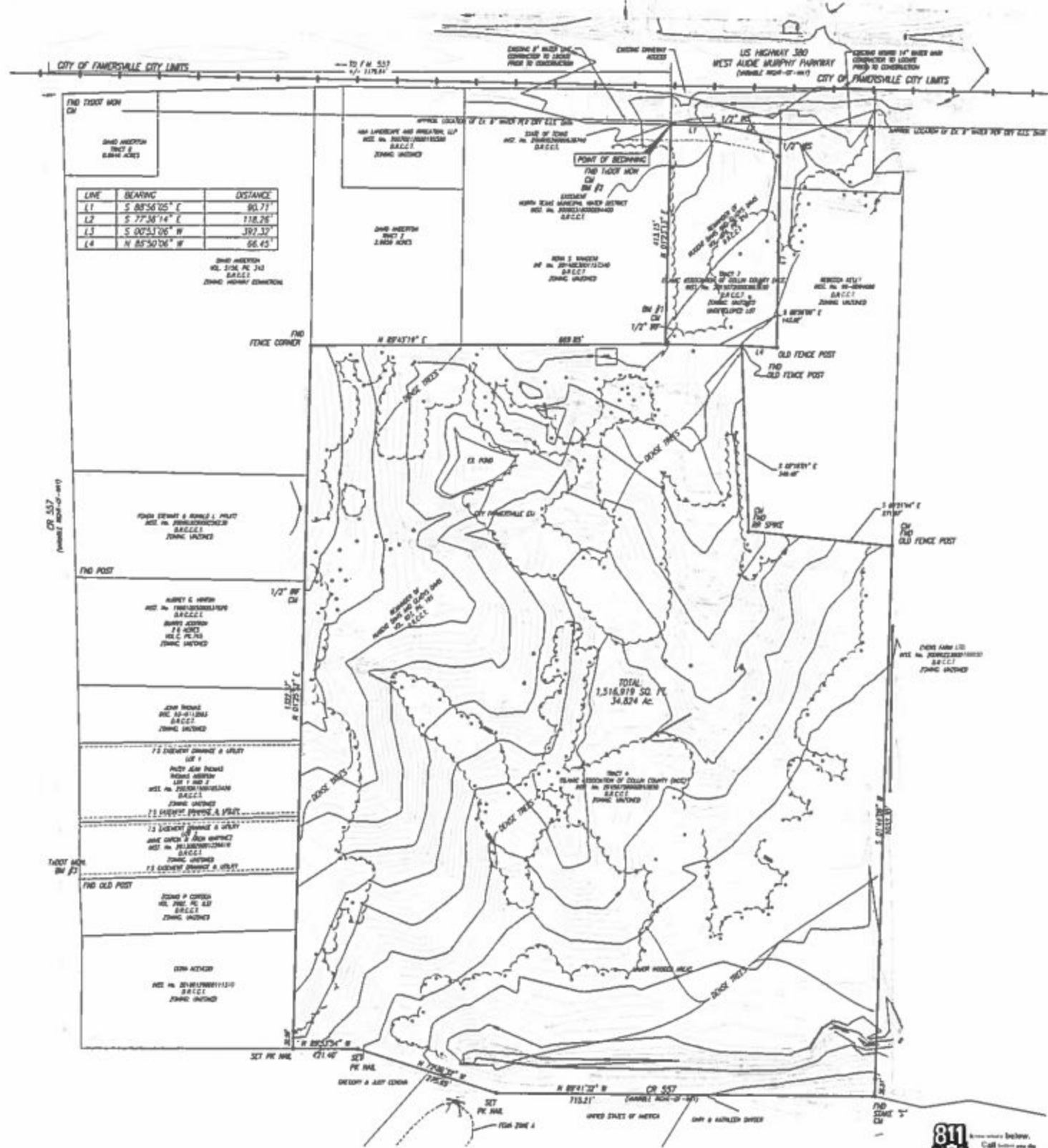




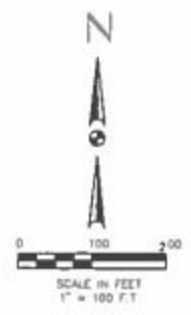


CITY OF FARMERSVILLE ROAD (ALSO KNOWN AS FM 557) VICINITY MAP

VERTICAL CONTROL MONUMENT (IN #1 MONUMENT) LOCATED AT POINT OF BEGINNING



LINE	BEARING	DISTANCE
L1	S 88°56'05" E	90.77'
L2	S 77°38'14" E	118.26'
L3	S 00°53'06" W	397.37'
L4	N 88°50'06" W	86.45'



**Legend of Symbols & Abbreviations**

—	ADJACENT OWNERS	—	EDGE OF CONCRETE
—	ADJACENT FENCE	—	EDGE OF ASPHALT
—	ADJACENT ROAD	—	UNDERGROUND CABLE
—	ADJACENT TOWER	—	UNDERGROUND GAS
—	ADJACENT UTILITY	—	UNDERGROUND TELEPHONE
—	ADJACENT WATER	—	UTILITY TOWER
—	ADJACENT WOOD	—	WATER MAIN
—	ADJACENT WOOD	—	WATER MAIN
—	ADJACENT WOOD	—	WATER MAIN
—	ADJACENT WOOD	—	WATER MAIN

**BENCHMARK #1**  
A 1/2" IRON ROD APPROXIMATELY 1136.84 FT EAST OF THE CENTERLINE OF FM 557 AND 329.50 FT SOUTH OF THE CENTERLINE OF U.S. HIGHWAY 380.  
N 702527.25 E 260999.37  
ELEVATION: 550.35

**BENCHMARK #2**  
A 1/2" IRON ROD APPROXIMATELY 1178.84 FT EAST OF THE CENTERLINE OF FM 557 AND 118.50 FT SOUTH OF THE CENTERLINE OF U.S. HIGHWAY 380.  
N 701010.08 E 260999.37  
ELEVATION: 557.54

**BENCHMARK #3**  
A 1/2" IRON ROD APPROXIMATELY 1558.0 FT SOUTH OF THE CENTERLINE OF U.S. HIGHWAY 380 AND 19.50 FT EAST OF THE CENTERLINE OF FM 557.  
N 702528.55 E 260884.79  
ELEVATION: 549.87

**DRAWN BY**  
ISLAMIC ASSOCIATION OF COLLIN COUNTY  
8401 INDEPENDENCE PARKWAY  
PLANO, TX 75023  
972-491-5800

**SURVEYOR**  
SALCEDO GROUP INC.  
110 SW 2ND STREET  
GRAND PRAIRIE, TX 75050  
214-412-3122

EXISTING TOPOGRAPHIC MAP  
**34.824 AC. TRACT**  
A UNPLATTED TRACT OF LAND  
IN THE  
JAMES INNERTHERY SURVEY, ABSTRACT NO. 467  
COLLIN COUNTY, TEXAS

**SGI** Salcedo Group, Incorporated  
Civil Engineers - Surveyors  
110 SW 2nd Street - Grand Prairie, Texas 75050  
Phone: (214) 412-3122, Fax: (214) 941-2331  
www.salcedogroupinc.com

IACC CEMETERY  
 FARMERSVILLE, TEXAS




**PRELIMINARY**  
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DATE: 05/17/2017  
 TIME: 10:28:11 AM  
 USER: AS-BACHMAN  
 SHEET: 002

Project No. 11493  
 Issued By: MAY 2017  
 Drawn By: CDM  
 Checked By: CDM  
 Scale: AS SHOWN  
 Sheet Title: GENERAL NOTES

**C0.02**

Sheet Number

**PAVING NOTES**

1. CONCRETE FOR ALL STREETS SHALL BE IN ACCORDANCE WITH MCTC03 CLASS "C" CONCRETE (3,000 P.S.I. COMPRESSIVE - 28 DAYS).
2. REINFORCING STEEL SHALL BE DEFORMED BARS NO. 4 BARS ON 18 INCH CENTERS. REINFORCING SHALL BE IN BOTH DIRECTIONS ON CENTER. REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615 AND A617.
3. ALL REINFORCING STEEL SHALL BE TIED (1) 10 REINFORCING STEEL SHALL BE SET ON PLASTIC CHAIRS. BAR LAPS SHALL BE MINIMUM 30 DIAMETERS.
4. EXPANSION JOINTS SHALL BE SPACED EVERY 200 FEET AND AT ALL INTERSECTIONS. ALLEYS SHALL HAVE A MINIMUM OF TWO EXPANSION JOINTS.
5. SAWED TRANSVERSE DRAIN JOINTS SHALL BE SPACED EVERY 15 FT. OR 1.25 TIMES LONGITUDINAL BUTT JOINT SPACINGS WHICHEVER IS LESS. SAWING SHALL OCCUR WITHIN 5 TO 12 HOURS AFTER THE POUR INCLUDING SEALING. OTHERWISE THE SECTION SHALL BE REMOVED AND A LONGITUDINAL BUTT JOINT CONSTRUCTED.
6. SUBGRADE UNDER PAVEMENTS SHALL BE A MINIMUM OF 8 INCHES OF LIME TREATED SUBGRADE. ONLY HYDRATED LIME SHALL BE UTILIZED. OPTIMUM LIME SHALL BE APPLIED. OPTIMUM LIME CONTENT SHALL BE DETERMINED DURING THE EXCAVATION BY THE USE OF AN 8" LIME SERIES TEST. LIME SERIES TEST SHALL BE TAKEN ALONG THE EXCAVATION AT ALL CHANGES IN SOIL AND A MINIMUM OF 200 FEET. LIME SERIES SHALL BE COMPLETED BY AN INDEPENDENT LABORATORY APPROVED BY THE CITY.
7. LIME TREATED SUBGRADE SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D698. MOISTURE CONTENT SHALL BE WITHIN -2 TO +4 OF OPTIMUM. DENSITY TEST RESULTS SHALL BE COMPLETED BY AN INDEPENDENT LABORATORY APPROVED BY THE CITY. ALL RESULTS SHALL BE PROVIDED TO THE CITY.
8. LIME TREATMENTS ARE NOT ACCEPTABLE FOR ANY USE.
9. ALL FILL SHALL BE COMPACTED BY MECHANICAL METHODS. MAXIMUM LOOSE LIFT FOR COMPACTION SHALL BE 8 INCHES. ALL LIFTS SHALL BE TESTED FOR DENSITY BY AN INDEPENDENT LABORATORY APPROVED BY THE CITY. DENSITY REQUIREMENT SHALL BE AS SHOWN ON THE PLANS FOR THE TYPE OF MATERIAL CALLED FOR IN THE PLANS.
10. ALL DISTURBED AREAS OF ROADWAY WORK SHALL HAVE GRASS ESTABLISHED OR BRASSIETA. GRASS SHALL MEET THE REQUIREMENTS OF ITEM 3.9.3.1 TO 3.11.1 OF MCTC03.
11. ALL AREAS TO BE EXCAVATED OR FILLED SHALL HAVE EROSION CONTROL PLACED PRIOR TO COMMENCING EARTHWORK. EROSION CONTROL DIVERSION SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN ACCORDANCE WITH MCTC03 ITEM 3.12.
12. ALL SIDEWALKS SHALL INCLUDE BARRIER FREE RAMPS AT INTERSECTIONS, STREETS, ALLEYS, DRIVEWAYS, ETC. BARRIER FREE RAMPS SHALL MEET CURRENT ADA REQUIREMENTS AND BE APPROVED BY THE TEXAS LICENSING BOARD.
13. SIDEWALKS SHALL BE DOBBLED INTO PAVEMENT WHERE IT ADJUTS DRIVEWAYS AND PAVEMENT. EXPANSION JOINT MATERIAL SHALL BE USED AT THESE LOCATIONS.
14. NO VEHICLES SHALL BE PERMITTED ON CONCRETE PAVEMENT WITHOUT APPROVAL FROM THE CITY. THE CITY WILL MAKE DETERMINATION BASED ON CONCRETE BREAK REPORT.
15. CONCRETE MIX DESIGN SHALL BE SUBMITTED FOR REVIEW.
16. ALL PAVING FOR PARKING SHALL BE MIN. 6" THICK 2,500 PSI CONCRETE SUBJECT TO CITY ENGINEER APPROVAL.
17. ALL AREAS NOT UNDER PAVING SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY.

**STORM SEWER**

1. THE FLOOR OF THE EXCAVATION FOR INLET BOX MUST PROVIDE A FIRM LEVEL BED FOR THE BASE SECTION TO REST UPON.
2. A MINIMUM OF 8 INCHES OF 1 DIAMETER (MAXIMUM) ROCK OR GRAVEL SHALL BE USED TO PREPARE THE PIPE BEDDING TO FINAL GRADE OR IN LIEU OF THIS, AT LEAST 8 INCHES OF 3-BAG CEMENT STABILIZED SAND SHALL BE USED TO PREPARE THE BEDDING TO GRADE. CEMENT STABILIZED SAND SHALL BE ALLOWED TO SET BY KEEPING MOIST UNTIL READY TO BE Laid.
3. AFTER PIPE HAS BEEN LAID ON PROPER BEDDING, BACKFILLING TO COMMENCE WITH A MAXIMUM LOOSE LIFT MECHANICALLY COMPACTED TO 85% STANDARD PROCTOR UNDER ROADWAY OR 12% MAXIMUM LOOSE LIFT BEHIND CURB. MAXIMUM SIZE ROCK IN BACKFILL SHALL NOT EXCEED 4 INCHES IN DIAMETER.
4. PRECAST INLETS MUST BE APPROVED BY THE CITY.
5. CONCRETE TO BE MINIMUM 4,200 P.S.I.
6. LIFTING DEVICE IS REQUIRED ON ALL STORM SEWER LIDS.
7. NO DUMPING, WARNING PLACED TO BE INSTALLED ON ALL STANDARD AND RECESSED INLETS.
8. CONCRETE CAST IN PLACE INLETS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,200 P.S.I. - 28 DAYS.
9. STORM DRAIN TILES SHALL BE PLACED IN THE CENTER OF THE INLET 2 INCHES FROM THE EDGE OF OPENING AS SHOWN IN THE DRAWING. USE PL-200 CONSTRUCTION ADHESIVE FOR APPLICATION. TILES CAN BE ORDERED FROM: CENTEX TILE SUPPLY, INC. 425 E. 53RD STREET GRAND PRairie, TEXAS 76041-1341 800-321-1731 METRO 214-441-2300 FAX: 214-441-1221
10. EXISTING STORM SEWER PIPE AND/OR LATERALS SHALL BE LOCATED PRIOR TO BEING IN CONSTRUCTION OF INLET BOXES. IF ADJUSTMENT IN GRADE OF LATERAL IS REQUIRED, A REVISED DESIGN BY THE ENGINEER OF RECORD SHALL BE SUBMITTED TO THE CITY FOR APPROVAL.
11. ALL STORM SEWER PIPE TO BE CLASS III HDPE.

**SANITARY SEWER**

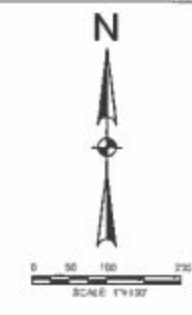
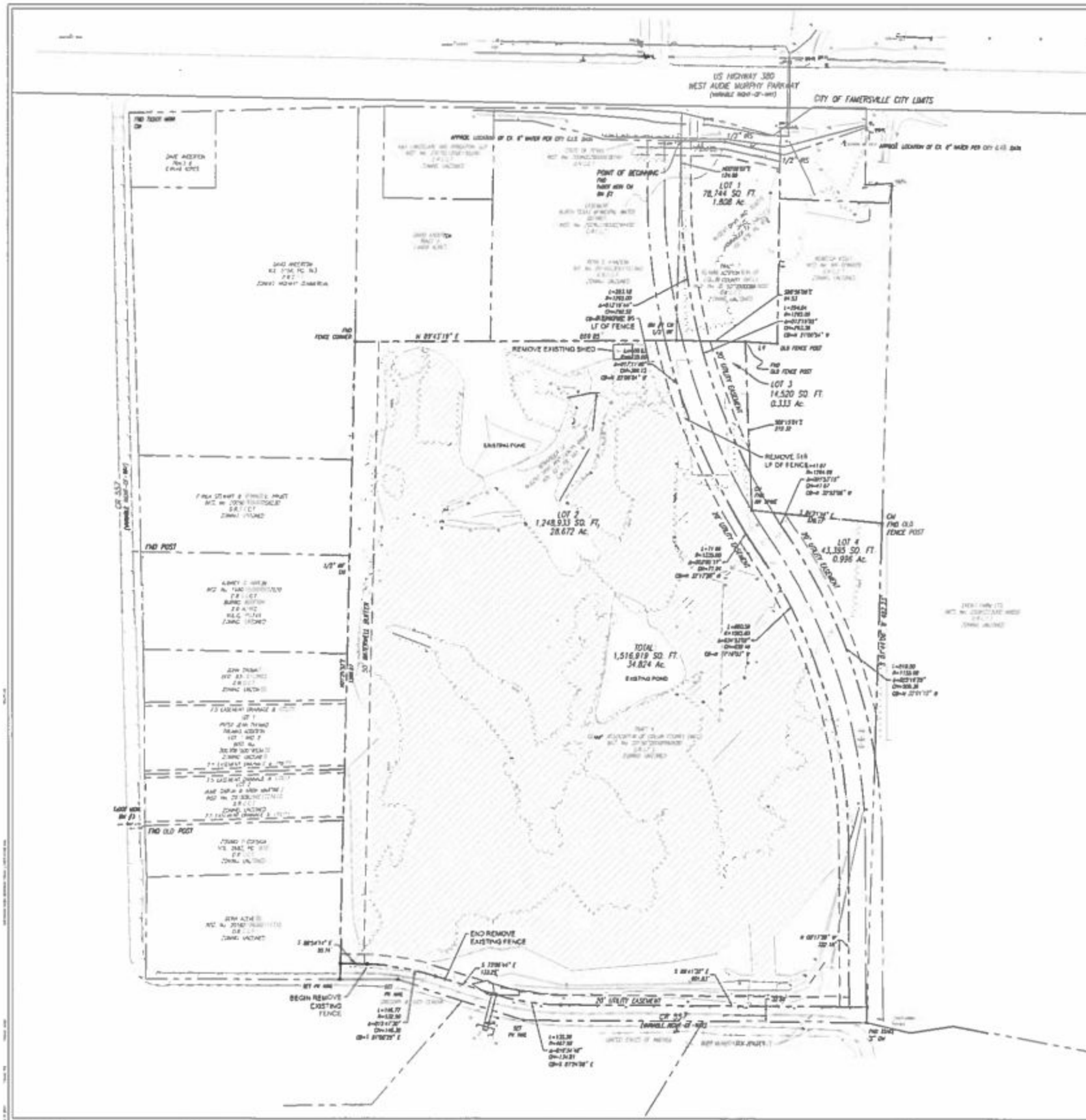
1. ALL SEWER LINES CROSSING POTABLE WATERLINES SHALL BE SHOWN IN THE PLANS AND MEET TCEQ REQUIREMENTS.
2. PIPE 8 INCHES THROUGH 18 INCHES SHALL BE IN ACCORDANCE WITH ASTM D3034 WITH A MINIMUM SDR OF 35 OR ASTM D3350 AND SDR 34543 C.
3. PIPE LARGER THAN 18 INCHES THROUGH 48 INCHES SHALL BE IN ACCORDANCE WITH ASTM STANDARDS F379 F 384 F393 AND D3350 DE 34543 C.
4. MANHOLES SHALL BE PRECAST. ALL MANHOLES SHALL BE WATER TIGHT. PRECAST MANHOLES SHALL HAVE JOINTS SEALED. ALL RING AND COVERS SHALL INCLUDE AN INTERNAL CHAMBER SEAL.
5. ALL PIPE OPENINGS IN MANHOLES SHALL INCLUDE COUPLINGS WITH O-RING RUBBER GASKETS.
6. STUBOUTS OF MANHOLES SHALL BE FITTED WITH A STOPPER AND CAP. STUBOUTS SHALL BE A MINIMUM OF 3 FEET FROM MANHOLE AND BE SUPPORTED BY A CONCRETE CRADLE.
7. ALL DROP MANHOLES SHALL BE OF THE EXTERNAL TYPE.
8. MANHOLES SHALL BE VENTED IN ACCORDANCE WITH TCEQ REQUIREMENTS.
9. ALL SANITARY SEWER PIPE SHALL BE TESTED (MCTC03 ITEM 6.7.2) AFTER CONSTRUCTION. TESTING SHALL INCLUDE PRESSURE TESTING, MANHOLE TEST (TCEQ REQUIREMENT) AND COLOR TV INSPECTION. COLOR TV INSPECTION SHALL BE COMPLETED IN PRESENCE OF CITY REPRESENTATIVE AND THE ORIGINAL VHS FORMATTED TAPE SHALL BE GIVEN TO THE CITY AT THE COMPLETION OF THE INSPECTION.
10. MANHOLES SHALL BE VACUUM TESTED IN THE PRESENCE OF THE CITY REPRESENTATIVE.
11. NO END-OF-LINE CLEANOUTS WILL BE ALLOWED. TERMINATE SEWER LINES WITH A MANHOLE.

**DETAILS**

SPECIAL DETAILS OR MODIFICATIONS TO THESE STANDARD DETAILS TO BE UTILIZED ON ANY GIVEN PROJECT SHALL BE SUBMITTED TO THE CITY FOR APPROVAL BEFORE USE.

**WATER**

1. ALL WATER LINE CROSSINGS OF SANITARY SEWER LINES SHALL BE AS SHOWN IN THE PLANS AND MEET TCEQ REQUIREMENTS.
2. PIPES 12 INCHES IN DIAMETER AND SMALLER SHALL BE POLYETHYLENE GLYCOL (PE-GC) MEETING THE REQUIREMENTS OF AWWA C300 OR 18" OR DUCTILE IRON PIPE (DIP) MEETING THE REQUIREMENTS OF AWWA C151 CLASS 50 PIPE. ALL DIP SHALL BE WRAPPED WITH A POLYETHYLENE LINER.
3. FOR PIPES LARGER THAN 12 INCHES IN DIAMETER, THE PIPE SHALL BE REINFORCED CONCRETE CULVERTS PIPE (AWWA C201) OR AWWA C300, DUCTILE IRON PIPE (AWWA C151 CLASS 50) OR POLYETHYLENE GLYCOL (PE-GC) PIPE UP TO 18 INCHES MEETING THE REQUIREMENTS OF AWWA C300 - 215 P.8.1 RATED PIPE.
4. ALL VALVES ON PIPES 12 INCHES AND SMALLER SHALL BE RESILIENT SEATED WEDGE VALVES (AWWA C300).
5. ALL VALVES ON PIPES LARGER THAN 12 INCHES BUT SMALLER THAN 30 INCHES SHALL BE BUTTERFLY VALVES (AWWA C304) OR WEDGE VALVES (AWWA C300).
6. ALL VALVES ON PIPES 30 INCHES AND LARGER SHALL BE BUTTERFLY VALVES (AWWA C304).
7. EMBEDMENT SHALL BE AS SHOWN ON THE PLANS. BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED TO 85% STANDARD PROCTOR. OUTSIDE PAVEMENT EXISTING OR PROPOSED SHALL BE COMPACTED TO MINIMUM OF 95% STANDARD PROCTOR. ALL COMPACTION SHALL BE BY MECHANICAL METHODS.
8. WATERLINES SHALL BE PRESSURE TESTED IN ACCORDANCE WITH MCTC03 ITEM 5.7.2.
9. ALL HORIZONTAL AND VERTICAL BENDS SHALL BE BLOCKED.
10. ALL FITTINGS SHALL INCLUDE METALLIC CONNECTORS.
11. ALL FIRE HYDRANTS SHALL BE INSTALLED WITH A 24" X 24" SQUARE REINFORCED CONCRETE PAD.



**IACC CEMETERY**  
FARMERSVILLE, TEXAS



NO.	DATE	DESCRIPTION

**PRELIMINARY**  
FOR INTERIM REVIEW ONLY

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BY: **HALFF** DATE: **MAY 2011**  
 TITLE: **DEMOLITION PLAN**  
 SHEET NO: **C1.01**

**LEGEND**

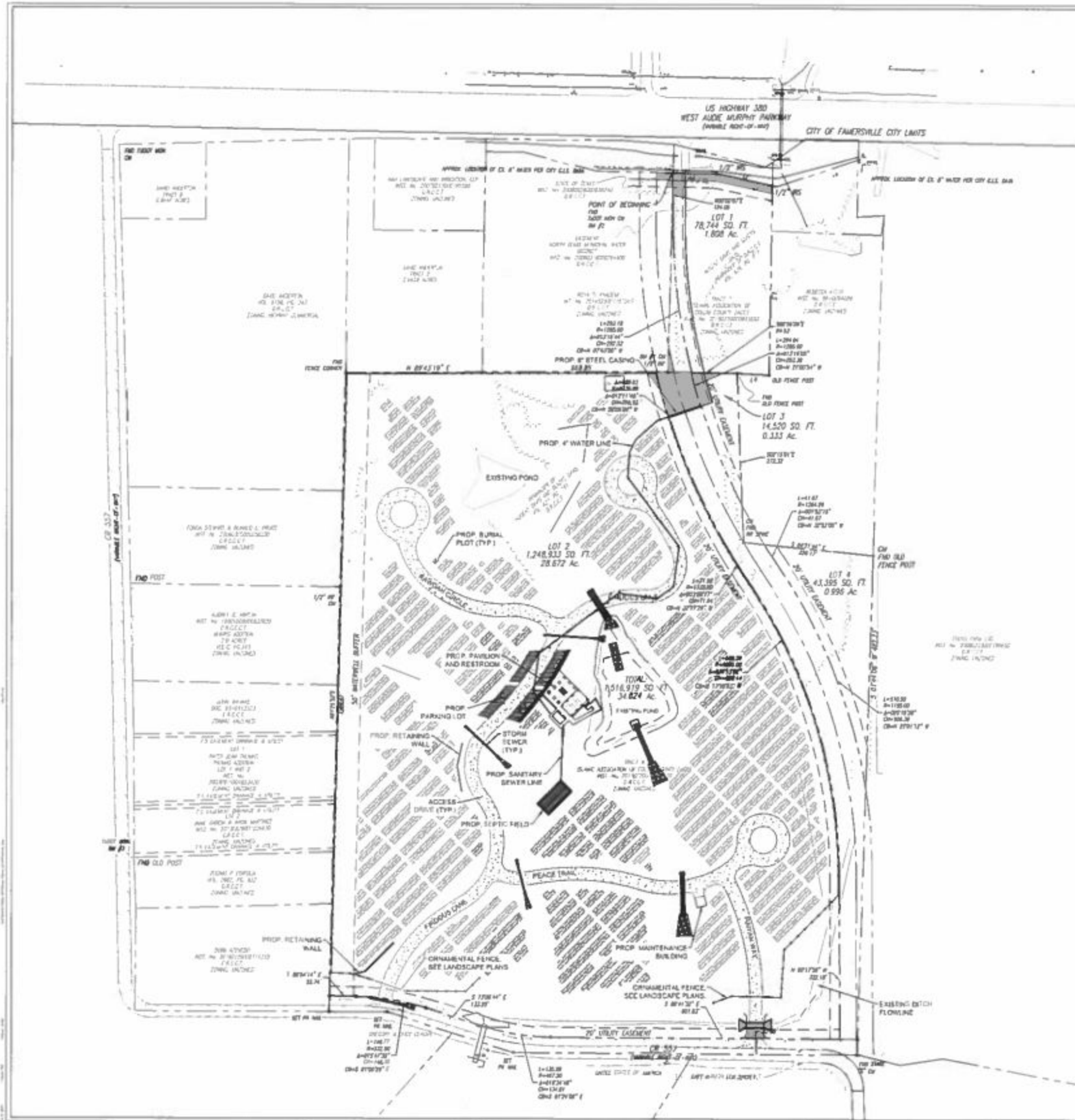
- REMOVE EXISTING CONCRETE
- CLEAR AND GRASS VEGETATION

**NOTES**

- CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT FOR TREES TO BE SAVED.
- CLEAR AND GRASS VEGETATION CONTRACTOR TO USE GRASS SEEDING, MULCH, EROSION CONTROL MATS, AND NO TURNS TO BE MADE.
- ALL UTILITIES TO BE LOCATED AND DEPTH TO BE VERIFIED. CONTRACTOR TO LOCATE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

LINE	BEARING	DISTANCE
L1	S 88° 54' 50" E	90.71'
L2	S 77° 36' 14" E	118.27'
L3	S 00° 45' 45" W	398.69'
L4	N 87° 05' 14" W	70.42'

Project No. 21482  
 Issued: MAY 2011  
 Drawn By: **DMB**  
 Checked By: **DMB**  
 Scale: AS SHOWN  
 Sheet Title: **DEMOLITION PLAN**  
**C1.01**  
 Sheet Number



**IACC CEMETERY**  
FARMERSVILLE, TEXAS



**OWNER'S INFORMATION**  
BLANK ASSOCIATION OF COLLIN COUNTY  
8811 REDBERRY PARKWAY  
FARMERSVILLE, TEXAS 75745

**LEGEND**

- PROPERTY LINE
  - - - EDGE OF PROPOSED PAVEMENT
  - 7" THICK 3000 PSI CONCRETE (8-BACK) WITH #4 BARS AT 18" O.C. W. AND 4" LIME #1 STABILIZED SUBGRADE
  - 4" THICK 3000 PSI CONCRETE (8-BACK) WITH #4 BARS AT 18" O.C. W. AND 4" LIME #1 STABILIZED SUBGRADE
  - ▨ 4" THICK CONCRETE SIDEWALK
- ALL FILL AND LIVE TREATED SUBGRADES SHALL BE PLACED IN 6" TO 8" LIFTS AND BE COMPACTED TO 95% OF STANDARD PROCTOR AT -2 TO 4" OF OPTIMUM MOISTURE

**PROPERTY LINE DATA**

LINE	BEARING	DISTANCE
L1	S 88° 54' 50" E	80.71
L2	S 77° 36' 14" E	118.27
L3	S 00° 48' 45" W	398.89
L4	N 87° 05' 14" W	70.47

**PRELIMINARY**

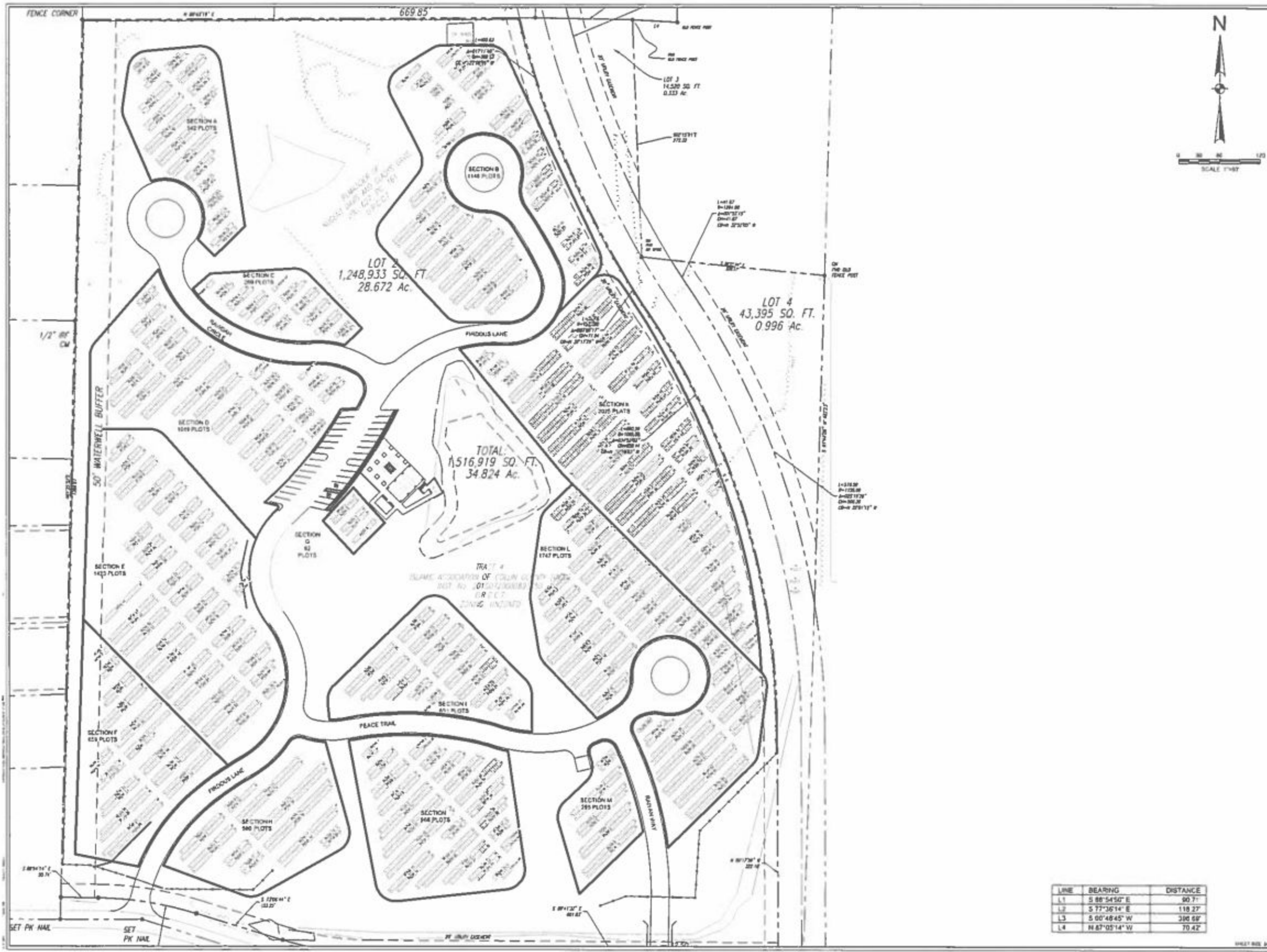
FOR INTERIM REVIEW ONLY  
THIS SET OF PLANS IS FOR ALTERNATIVE REVIEW AND NOT INTENDED FOR RECORD OR CONSTRUCTION PURPOSES. THEY WILL BE PREPARED BY THE SUPPLIER'S OFFICE.

DATE: 05/11/17  
DRAWN BY: JLS  
CHECKED BY: JLS

Project No. 31492  
Issued: MAY 2017  
Drawn By: JLS  
Checked By: JLS  
Scale: AS SHOWN  
Sheet Title: SITE PLAN

C2.01

Sheet Number



IACC CEMETERY  
FARMERSVILLE, TEXAS



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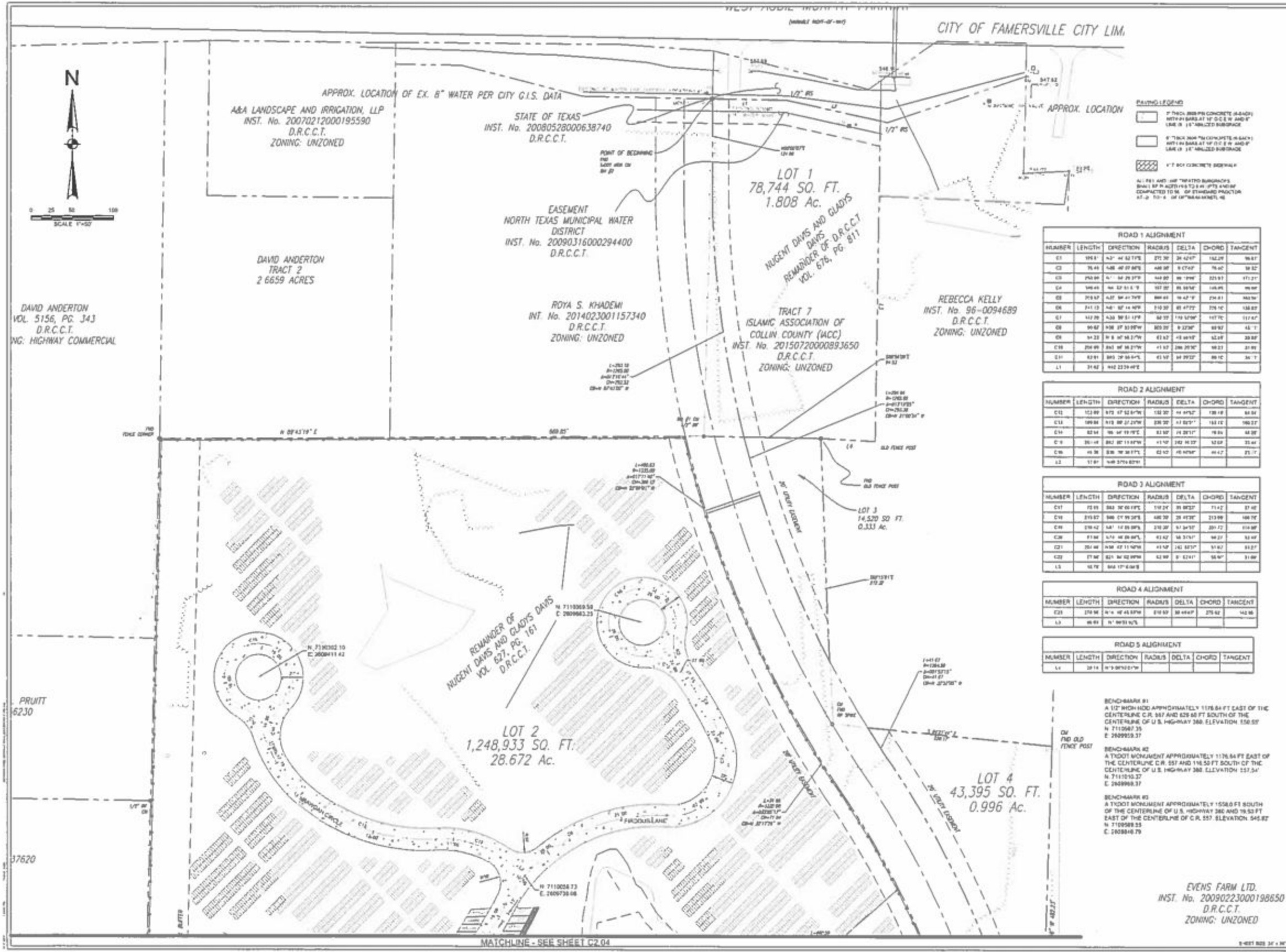
DATE: 05/11/2017

Project No. 21482  
Issued: MAY 2017  
Drawn By: CBN  
Checked By: CBN  
Scale: AS SHOWN

Block & Plot Plan  
**C2.02**

LINE	BEARING	DISTANCE
L.1	S 88°54'50" E	80.7'
L.2	S 77°36'14" E	118.27'
L.3	S 00°48'45" W	308.62'
L.4	N 67°05'14" W	70.42'

SHEET 805 OF 107



DAVID ANDERTON  
VOL. 5156, PG. 343  
D.R.C.C.T.  
ZONING: HIGHWAY COMMERCIAL

PRUITT  
6230

37620

DAVID ANDERTON  
VOL. 5156, PG. 343  
D.R.C.C.T.  
ZONING: UNZONED

A&A LANDSCAPE AND IRRIGATION, LLP  
INST. No. 20070212000195590  
D.R.C.C.T.  
ZONING: UNZONED

DAVID ANDERTON  
TRACT 2  
2 6659 ACRES

STATE OF TEXAS  
INST. No. 20080528000638740  
D.R.C.C.T.

EASEMENT  
NORTH TEXAS MUNICIPAL WATER  
DISTRICT  
INST. No. 20090316000294400  
D.R.C.C.T.

ROYIA S. KHADEMI  
INST. No. 2014023001157340  
D.R.C.C.T.  
ZONING: UNZONED

LOT 1  
78,744 SQ. FT.  
1.808 Ac.  
NUGENT DAVIS AND GLADYS  
REMAINDER OF D.R.C.C.T.  
VOL. 678, PG. 811

TRACT 7  
ISLAMIC ASSOCIATION OF  
COLLIN COUNTY (IACC)  
INST. No. 20150720000893650  
D.R.C.C.T.  
ZONING: UNZONED

REBECCA KELLY  
INST. No. 96-0094689  
D.R.C.C.T.  
ZONING: UNZONED

REMAINDER OF  
NUGENT DAVIS AND GLADYS  
VOL. 627, PG. 161  
D.R.C.C.T.

LOT 2  
1,248,933 SQ. FT.  
28.672 Ac.

LOT 3  
14,570 SQ. FT.  
0.333 Ac.

LOT 4  
43,395 SQ. FT.  
0.996 Ac.

MATCHLINE - SEE SHEET C2-04

**PAVING LEGEND**  
 7" THICK ASPHALT CONCRETE (BASE)  
 WITH 4" BARS AT 18" O.C. W. AND 8"  
 15" GRANULAR SUBGRADE  
 8" THICK ASPHALT CONCRETE (BASE)  
 WITH 4" BARS AT 18" O.C. W. AND 8"  
 15" GRANULAR SUBGRADE  
 4" THICK CONCRETE SIDEWALK  
 ALL SET AND JOINT MATERIALS SHALL BE  
 100% SAND AND 100% GRAVEL  
 COMPACTED TO 95% OF STANDARD PRACTICE  
 SPECIFICATIONS

**ROAD 1 ALIGNMENT**

NUMBER	LENGTH	DIRECTION	RADIUS	DELTA	CHORD	TANGENT
C1	188.81	N 3° 42' 17"E	270.00	38.4247°	152.28	98.81
C2	76.41	S 88° 46' 07"W	448.00	9.2743°	76.41	98.82
C3	250.88	N 1° 29' 37"E	448.00	88.1996°	323.93	171.21
C4	149.43	N 82° 51' 5" E	107.00	88.9552°	149.43	98.90
C5	203.47	S 87° 41' 39"W	448.00	18.4717°	203.47	98.91
C6	241.12	S 87° 14' 46"W	210.00	85.4722°	209.10	138.82
C7	142.28	S 88° 51' 17"W	50.00	110.5299°	142.28	117.47
C8	90.62	S 88° 51' 17"W	50.00	9.2296°	89.62	45.17
C9	54.25	S 8° 47' 43"W	42.62	13.4612°	54.25	33.88
C10	258.45	S 82° 46' 27"W	11.52	208.2532°	262.21	27.85
C11	52.91	S 83° 29' 55"E	43.92	54.2922°	66.10	36.17
L1	31.62	N 82° 23' 49"E				

**ROAD 2 ALIGNMENT**

NUMBER	LENGTH	DIRECTION	RADIUS	DELTA	CHORD	TANGENT
C12	123.89	S 75° 42' 52"W	150.00	44.4752°	138.18	88.89
C13	199.88	S 73° 07' 27"W	230.00	17.6217°	193.10	188.27
C14	52.94	S 6° 49' 19"W	82.92	15.2617°	52.94	66.88
C15	30.18	S 82° 07' 11"W	11.52	262.3432°	30.18	28.48
C16	45.38	S 78° 40' 17"E	23.42	48.4698°	45.38	25.17
L2	17.87	N 83° 57' 02"E				

**ROAD 3 ALIGNMENT**

NUMBER	LENGTH	DIRECTION	RADIUS	DELTA	CHORD	TANGENT
C17	72.08	S 82° 52' 17"E	110.24	38.8822°	71.42	37.42
C18	310.82	S 71° 30' 37"E	448.00	38.4928°	333.99	188.79
C19	248.42	S 67° 00' 07"E	210.00	61.2452°	201.22	168.89
C20	21.88	S 72° 46' 07"E	43.42	16.3167°	21.88	52.89
C21	254.68	S 68° 42' 11"W	43.42	162.8327°	248.67	83.27
C22	27.88	S 21° 40' 42"W	42.99	0.2241°	28.97	31.89
L3	10.78	S 88° 17' 03"W				

**ROAD 4 ALIGNMENT**

NUMBER	LENGTH	DIRECTION	RADIUS	DELTA	CHORD	TANGENT
C23	279.88	N 14° 44' 07"W	210.00	38.8667°	275.82	142.88
L4	48.94	N 10° 53' 02"E				

**ROAD 5 ALIGNMENT**

NUMBER	LENGTH	DIRECTION	RADIUS	DELTA	CHORD	TANGENT
L5	39.14	N 9° 29' 02"W				

BENCHMARK #1  
A 1/2" HIGH IRON APPROXIMATELY 1176.84 FT EAST OF THE CENTERLINE OF U.S. HIGHWAY 386 AND 829.40 FT SOUTH OF THE CENTERLINE OF U.S. HIGHWAY 386. ELEVATION: 158.83'  
N 711088.33  
E 2689958.37

BENCHMARK #2  
A TYPICAL MONUMENT APPROXIMATELY 1176.84 FT EAST OF THE CENTERLINE OF U.S. HIGHWAY 386 AND 116.50 FT SOUTH OF THE CENTERLINE OF U.S. HIGHWAY 386. ELEVATION: 157.54'  
N 711088.33  
E 2689958.37

BENCHMARK #3  
A TYPICAL MONUMENT APPROXIMATELY 1558.0 FT SOUTH OF THE CENTERLINE OF U.S. HIGHWAY 386 AND 19.50 FT EAST OF THE CENTERLINE OF C.R. 557. ELEVATION: 545.82'  
N 710989.84  
E 2688848.79

EVENS FARM LTD.  
INST. No. 20090223000198650  
D.R.C.C.T.  
ZONING: UNZONED

IACC CEMETERY  
FARMERSVILLE, TEXAS



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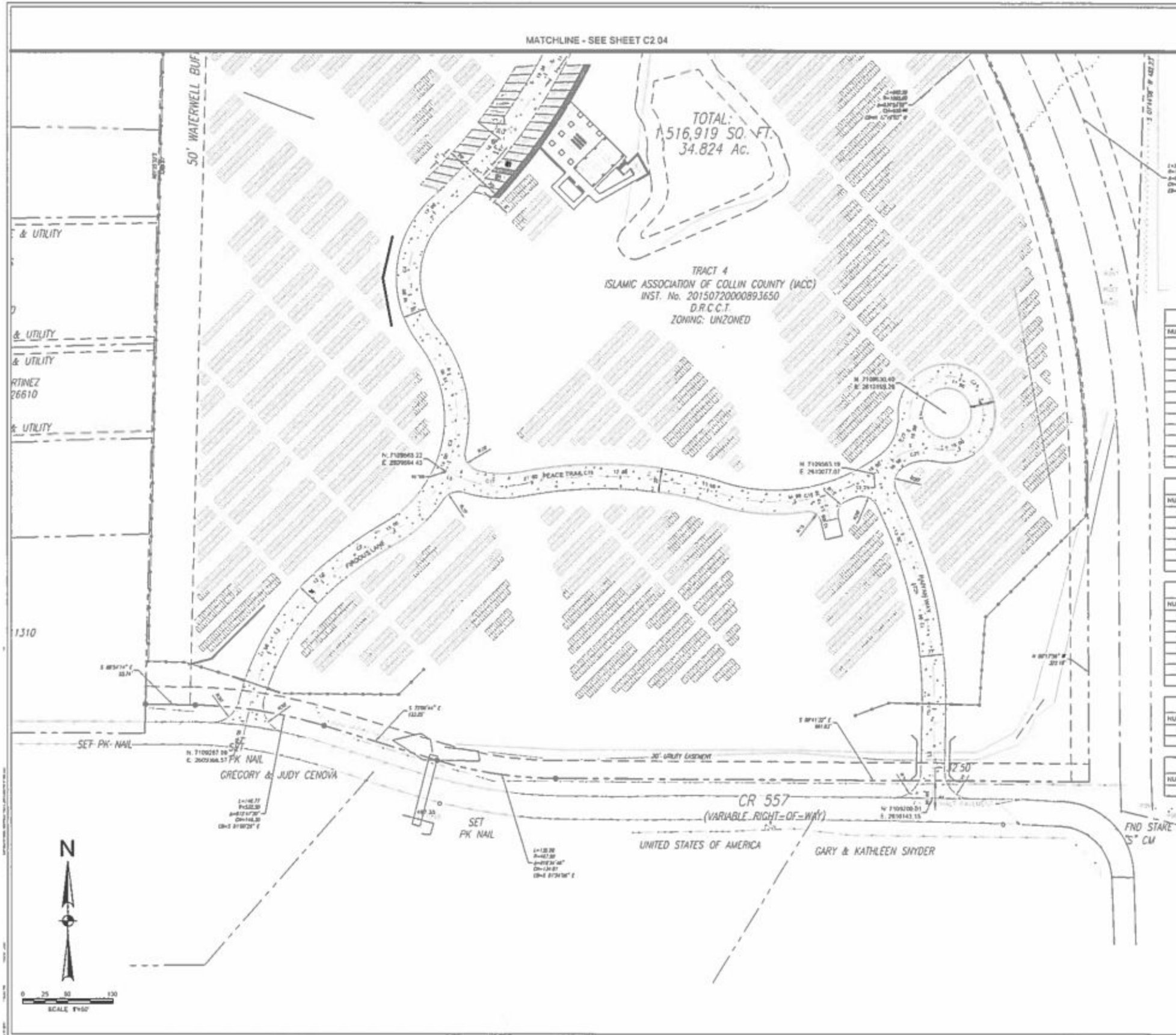
DATE: 5/20/17  
DRAWN BY: JEM  
CHECKED BY: JEM

Project No. 31492  
Issued: MAY 2017  
Drawn By: JEM  
Checked By: JEM  
Scale: AS SHOWN  
Sheet No. PAVING AND DIMENSIONAL CONTROL PLAN  
**C2.03**  
Sheet to follow

MATCHLINE - SEE SHEET C2.04

TOTAL:  
516,919 SQ. FT.  
34.824 Ac.

TRACT 4  
ISLAMIC ASSOCIATION OF COLLIN COUNTY (IACC)  
INST. No. 20150720000893650  
D.R.C.C.T.  
ZONING: UNZONED



- PAVING LEGEND**
- [Symbol] 4" THICK 9000 PSI CONCRETE SLAB WITH 6" BARS @ 12" O.C. IN 4" AND 6" LANE IN STANDARD SUBGRADE
  - [Symbol] 6" THICK 9000 PSI CONCRETE SLAB WITH 6" BARS @ 12" O.C. IN 4" AND 6" LANE IN STANDARD SUBGRADE
  - [Symbol] 4" THICK 9000 PSI BENTONITE
- ALL PAVEMENTS TO BE TREATED SURFACES SHALL BE PLACED IN 10'S IN LEFT AND IN LAMINATED FORM OF STANDARD MIXTURE AT 3" TO 6" OF OPTIMUM MOISTURE

ROAD 1 ALIGNMENT						
NUMBER	LENGTH	DIRECTION	RADIUS	DELTA	CHORD	TANGENT
C1	175.9'	N 81° 44' 32.71" E	276.20'	86° 42' 47"	162.29'	96.97'
C2	76.48'	S 86° 07' 56" E	485.20'	4° 47' 42"	76.48'	96.97'
C3	276.36'	N 11° 25' 25.17" E	148.50'	84° 16' 08"	276.36'	171.17'
C4	148.68'	S 82° 51' 8" E	107.30'	85° 05' 56"	148.68'	96.97'
C5	276.36'	N 11° 25' 25.17" E	148.50'	84° 16' 08"	276.36'	171.17'
C6	241.12'	N 61° 02' 14" E	212.30'	86° 47' 37"	241.12'	158.69'
C7	142.28'	N 88° 58' 51" E	66.14'	11° 52' 50"	142.28'	117.47'
C8	96.97'	S 82° 51' 08" W	86.20'	5° 27' 50"	96.97'	96.97'
C9	96.97'	S 82° 51' 08" W	86.20'	5° 27' 50"	96.97'	96.97'
C10	276.36'	N 11° 25' 25.17" E	148.50'	84° 16' 08"	276.36'	171.17'
C11	42.87'	S 82° 51' 08" W	42.87'	90° 00' 00"	42.87'	42.87'
T	21.87'	S 82° 51' 08" W				21.87'

ROAD 2 ALIGNMENT						
NUMBER	LENGTH	DIRECTION	RADIUS	DELTA	CHORD	TANGENT
C12	122.00'	S 76° 47' 42.69" E	122.00'	44° 44' 07"	122.00'	94.94'
C13	148.94'	S 76° 47' 42.69" E	744.72'	47° 05' 11"	148.94'	106.22'
C14	62.54'	S 84° 19' 57" E	62.54'	74° 29' 17"	62.54'	46.86'
C15	264.45'	S 82° 51' 08" W	115.58'	79° 16' 37"	264.45'	204.44'
C16	16.99'	S 82° 51' 08" W	16.99'	90° 00' 00"	16.99'	16.99'
L1	17.67'	S 82° 51' 08" W				17.67'

ROAD 3 ALIGNMENT						
NUMBER	LENGTH	DIRECTION	RADIUS	DELTA	CHORD	TANGENT
C17	73.86'	S 85° 30' 05" E	119.24'	35° 00' 02"	73.86'	57.44'
C18	214.60'	S 85° 30' 05" E	485.20'	35° 00' 02"	214.60'	168.74'
C19	276.42'	S 85° 30' 05" E	276.42'	87° 34' 07"	276.42'	199.86'
C20	21.46'	S 85° 30' 05" E	21.46'	90° 00' 00"	21.46'	21.46'
C21	21.46'	S 85° 30' 05" E	21.46'	90° 00' 00"	21.46'	21.46'
C22	276.42'	S 85° 30' 05" E	276.42'	87° 34' 07"	276.42'	199.86'
L1	19.18'	S 85° 30' 05" E				19.18'

ROAD 4 ALIGNMENT						
NUMBER	LENGTH	DIRECTION	RADIUS	DELTA	CHORD	TANGENT
C23	218.26'	S 14° 10' 16.87" W	549.50'	36° 06' 47"	218.26'	142.86'
L1	66.99'	S 14° 10' 16.87" W				66.99'

ROAD 5 ALIGNMENT						
NUMBER	LENGTH	DIRECTION	RADIUS	DELTA	CHORD	TANGENT
C24	28.18'	S 14° 10' 16.87" W				28.18'

- BENCHMARK #1**  
A 1" DIAMETER IRON ROD APPROXIMATELY 1176.64 FT EAST OF THE CENTERLINE OF C.R. 557 AND 529.50 FT SOUTH OF THE CENTERLINE OF U.S. HIGHWAY 380. ELEVATION: 555.85  
N: 711087.25  
E: 2369958.37
- BENCHMARK #2**  
A TYPICAL MONUMENT APPROXIMATELY 1176.64 FT EAST OF THE CENTERLINE OF C.R. 557 AND 116.50 FT SOUTH OF THE CENTERLINE OF U.S. HIGHWAY 380. ELEVATION: 557.54  
N: 7111210.37  
E: 2369968.37
- BENCHMARK #3**  
A TYPICAL MONUMENT APPROXIMATELY 1885.0 FT SOUTH OF THE CENTERLINE OF U.S. HIGHWAY 380 AND 18.30 FT EAST OF THE CENTERLINE OF C.R. 557. ELEVATION: 545.87  
N: 7109848.55  
E: 2369948.79

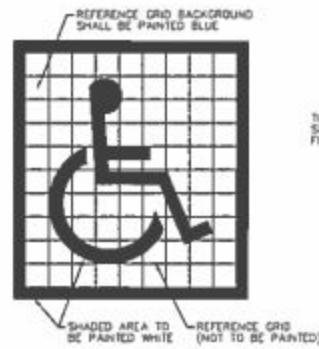
IACC CEMETERY  
FARMERSVILLE, TEXAS



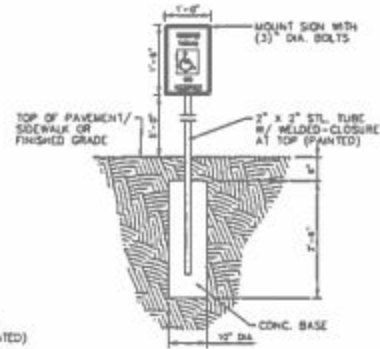
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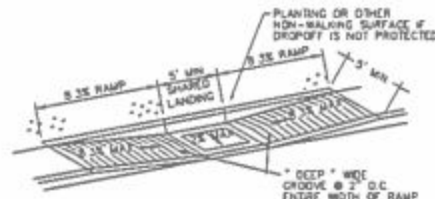
Project No.	21482
Revised	MAY 2017
Drawn By	DBH
Checked By	DBH
Scale	AS SHOWN
Sheet Title	PAVING AND DIMENSIONAL CONTROL PLAN
Sheet Number	C2.04



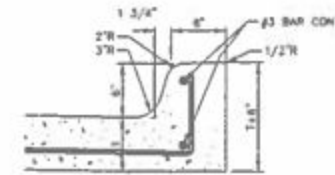
01 H.C. PARKING SYMBOL  
N.T.S.



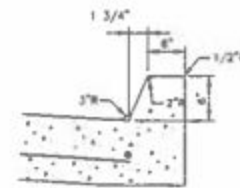
02 H.C. PARKING SIGN  
N.T.S.



03 PARALLEL CURB RAMP W/CURB  
N.T.S.



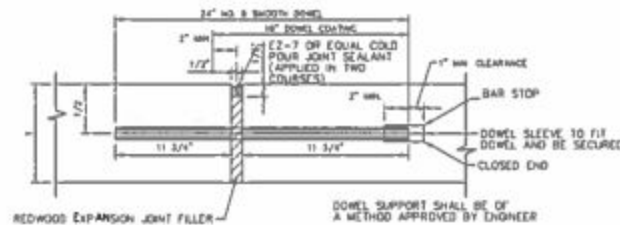
04 INTEGRAL CURB DETAIL  
N.T.S.



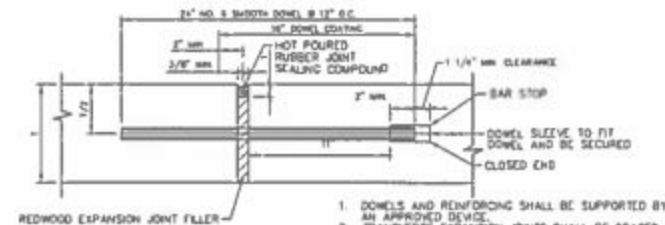
05 MONOLITHIC CURB  
N.T.S.



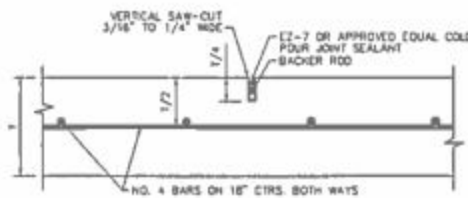
TYPICAL DRIVE OR STREET CONNECTION  
TO EXISTING ASPHALT STREET  
SCALE N.T.S.



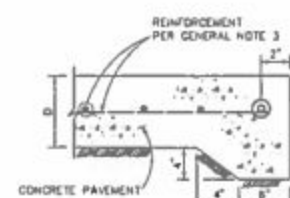
07 EXPANSION JOINT  
N.T.S.



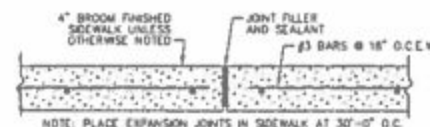
08 TRANSVERSE EXPANSION JOINT  
N.T.S.



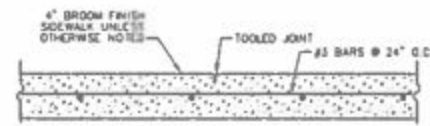
09 SAWED DUMMY JOINT  
N.T.S.



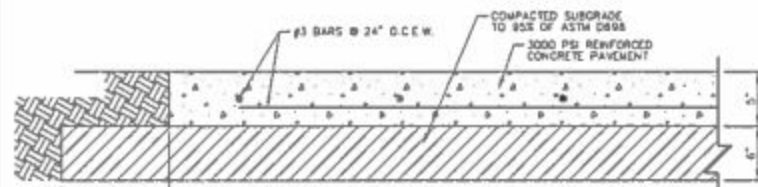
10 STANDARD CONCRETE PAVING HEADER  
N.T.S.



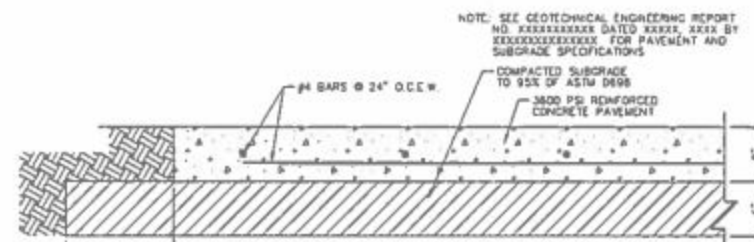
11 SIDEWALK EXPANSION JOINT  
N.T.S.



12 SIDEWALK CONTROL JOINT  
N.T.S.



13 REINFORCED CONCRETE PAVEMENT TYPE 1  
N.T.S.



14 REINFORCED CONCRETE PAVEMENT TYPE 2  
N.T.S.

IACC CEMETERY  
FARMERSVILLE, TEXAS



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REFERENCE AND ARE NOT INTENDED FOR  
CONSTRUCTION. FOR PAVEMENT AND  
SUBGRADE SPECIFICATIONS, REFER TO  
THE SUPPLEMENTAL SPECIFICATIONS TO  
THE STANDARD SPECIFICATIONS FOR  
CONSTRUCTION OF PUBLIC WORKS,  
SECTION 201.

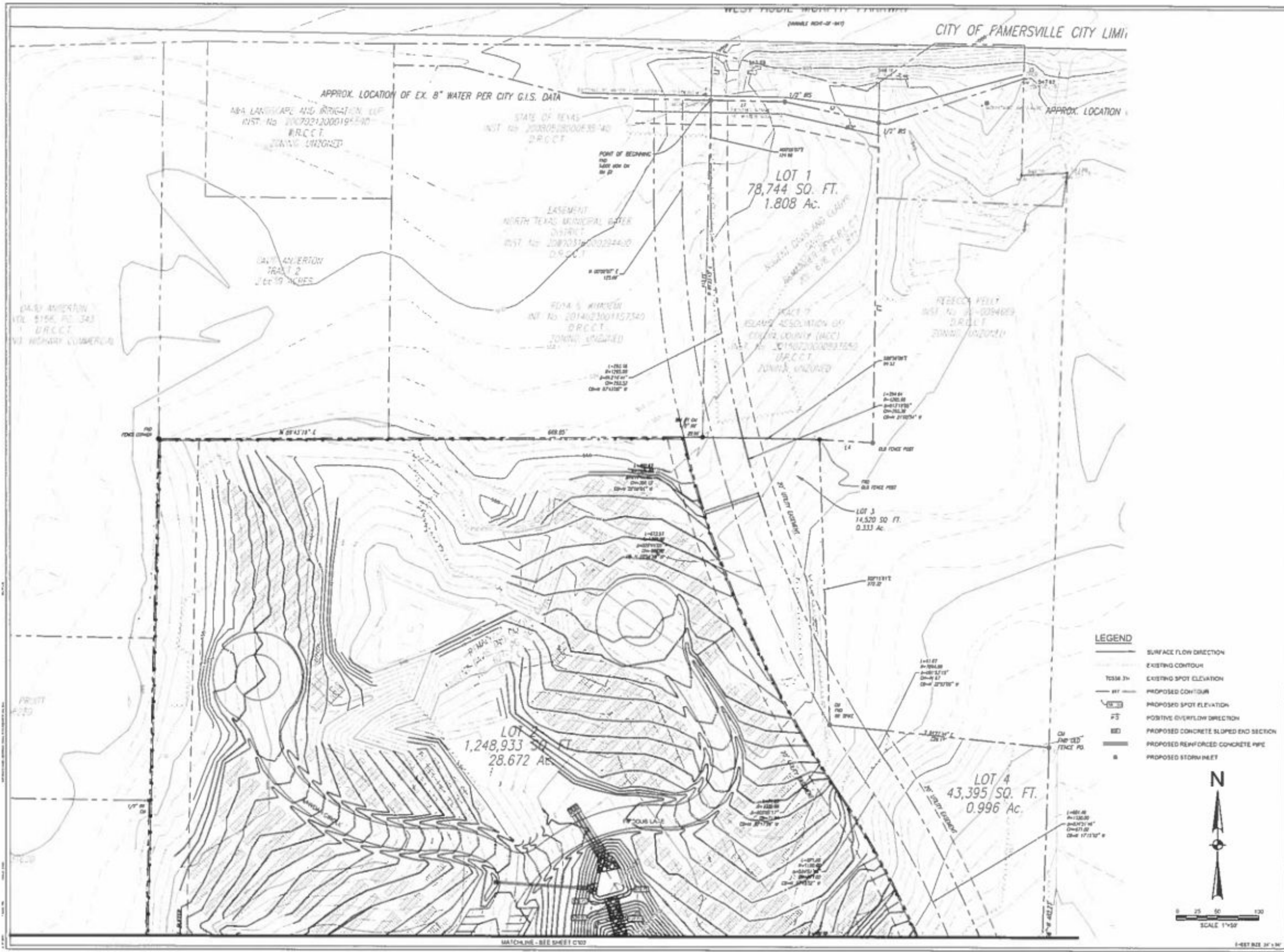
Project No. 31482  
Issued: MAY 2017  
Drawn By: DSH  
Checked By: DSH  
Scale: AS SHOWN

Sheet Title: PAVING DETAILS

C2.05

SHEET SIZE 34" x 46"





**IACC CEMETERY**  
FARMERSVILLE, TEXAS



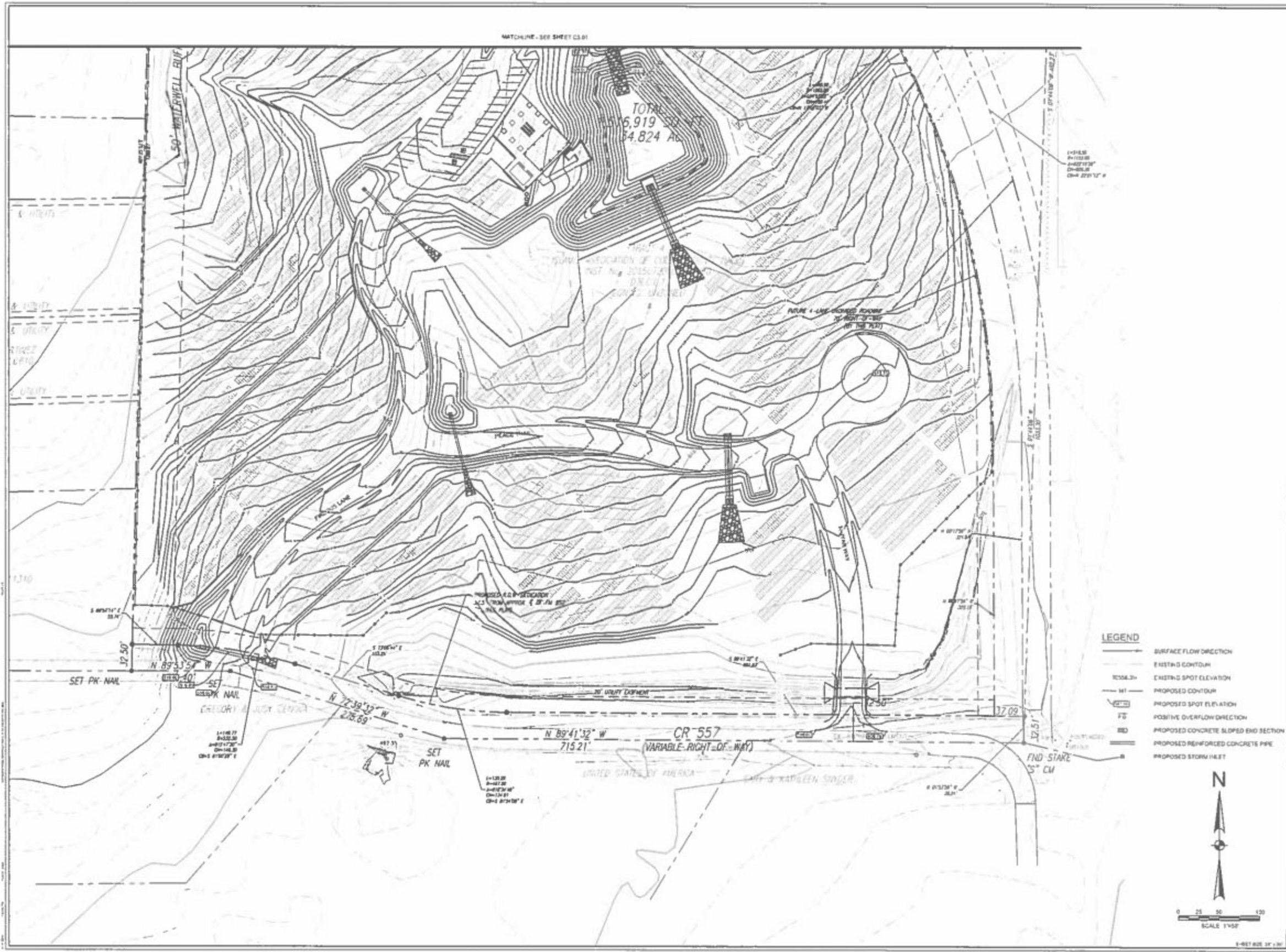
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Project No.	21482
Issued	MAY 2017
Drawn By	DDH
Checked By	DDH
Scale	AS SHOWN

**GRADING PLAN**

**C3.01**  
Sheet Number



IACC CEMETERY  
 FARMERSVILLE, TEXAS



**PRELIMINARY**  
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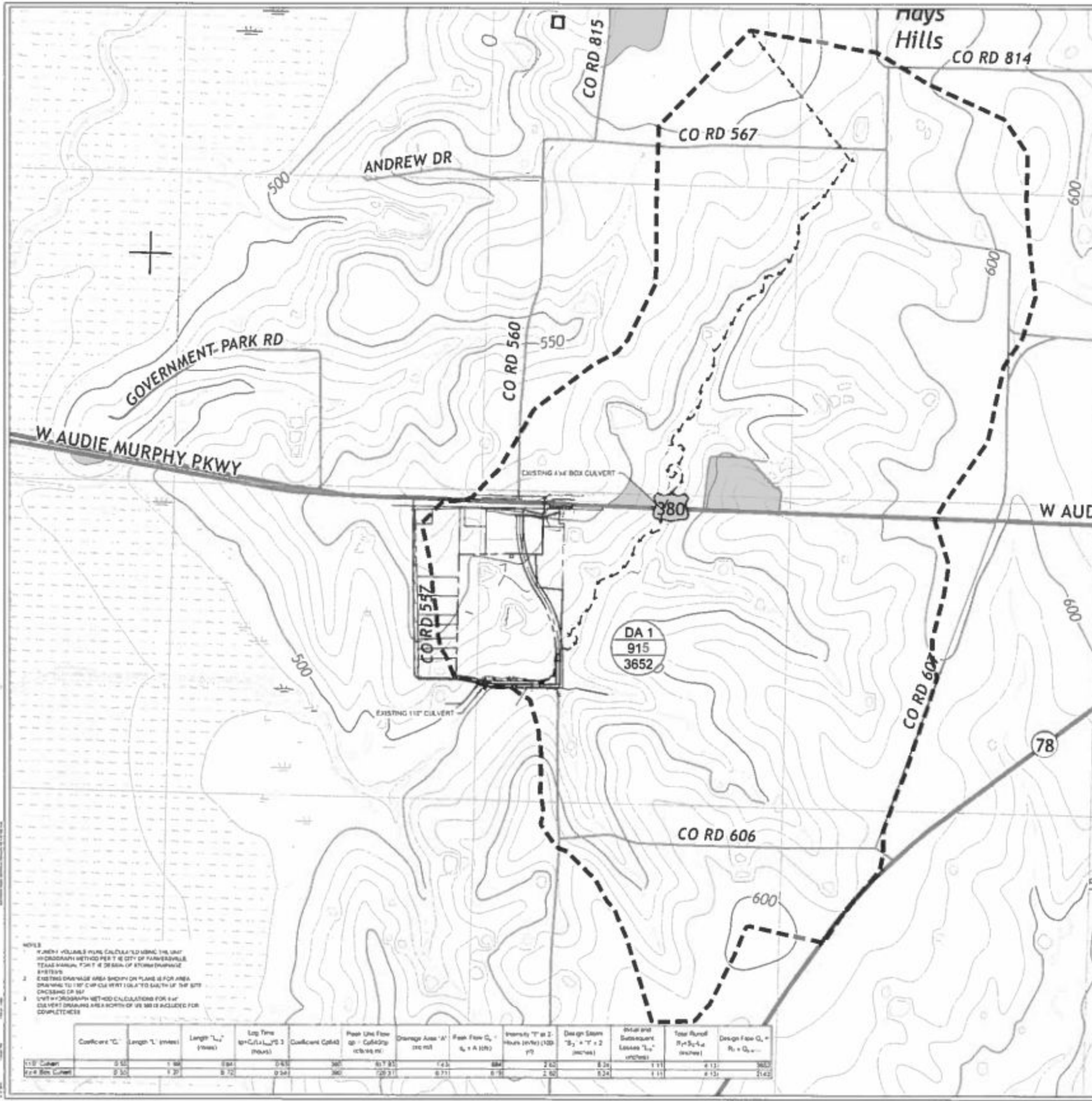
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Project No.	21492
Revised	MAY 2017
Drawn By	ESM
Checked By	ESM
Scale	AS SHOWN

GRAZING PLAN

C3.02

Sheet 1 of 2



Peak Flow Capacity, Manning Equation  
 Q=VA  
 Units: gpm (1.34 cfs/1.34 gpm)

Existing 4' x 4' Culvert	Existing 12" Culvert
n (Manning's Coefficient) = 0.013 A (area) = 16.00 sq. ft. P (wetted perimeter) = 16.00 ft. S (slope) = 0.0005 ft/ft Q (discharge) = 136.11 cfs	n (Manning's Coefficient) = 0.013 A (area) = 80.00 sq. ft. P (wetted perimeter) = 39.80 ft. S (slope) = 0.0075 ft/ft Q (discharge) = 726.11 cfs

**LEGEND**

- DRAINAGE AREA DELINEATION
- DRAINAGE AREA DESCRIPTION
- FLOW DIRECTION
- EXISTING ELEVATION CONTOUR
- PROPOSED PAVEMENT CENTERLINE

NOTES:  
 1. PEAK FLOW CAPACITY WAS CALCULATED USING THE UNIT HYDROGRAPH METHOD PER THE CITY OF FARMERSVILLE. THESE VALUES ARE FOR DESIGN OF STORM DRAINAGE SYSTEMS.  
 2. EXISTING DRAINAGE AREAS SHOWN ON PLANS IS FOR AREA DRAINING TO THE EXISTING 12" CULVERT. THE CITY OF FARMERSVILLE HAS NOT CONDUCTED A HYDROLOGIC ANALYSIS FOR THIS DRAINAGE AREA. THE CITY OF FARMERSVILLE HAS NOT CONDUCTED A HYDROLOGIC ANALYSIS FOR THIS DRAINAGE AREA. THE CITY OF FARMERSVILLE HAS NOT CONDUCTED A HYDROLOGIC ANALYSIS FOR THIS DRAINAGE AREA.

Coefficient 'C'	Length 'L' (feet)	Length 'L <sub>2</sub> ' (feet)	Log Time (h <sub>1</sub> +C/L <sub>1</sub> )+L <sub>2</sub> /V <sub>2</sub> (hours)	Coefficient C <sub>1</sub> Q <sub>1</sub>	Peak Unit Flow (q) = C <sub>1</sub> Q <sub>1</sub> /L <sub>1</sub> (cfs/ft)	Drainage Area 'A' (ac)	Peak Flow Q <sub>1</sub> (cfs)	Intensity 'I' at 2-Hours (in/hr) (1/24)	Design Storm 'S <sub>2</sub> ' = 'I' x 2 (inches)	Initial and Subsequent Losses 'L <sub>1</sub> ' (inches)	Total Runoff R <sub>1</sub> = S <sub>2</sub> - L <sub>1</sub> (inches)	Design Flow Q <sub>2</sub> (cfs)
0.50	1.00	0.00	0.33	300	0.17	0.17	0.17	2.00	0.34	1.11	0.13	360
0.50	1.00	0.00	0.33	300	0.17	0.17	0.17	2.00	0.34	1.11	0.13	360

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 FARMERSVILLE, TEXAS



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Project No. 31482  
 Issued: MAY 2017  
 Drawn By: DSH  
 Checked By: DSH  
 Scale: AS SHOWN  
 Sheet Title: EXISTING REGION DRAINAGE AREA  
 MA  
**C4.01**  
 Sheet of 10



**LEGEND**

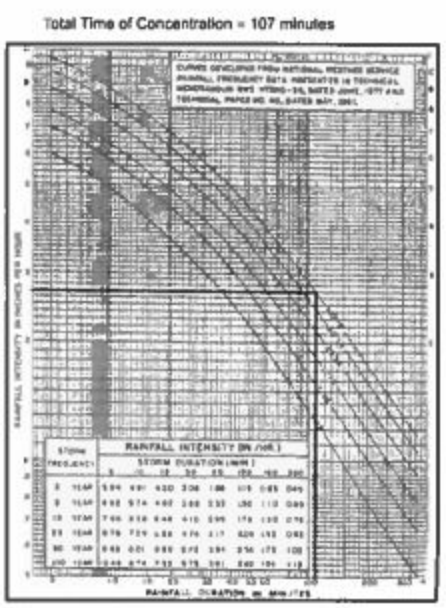
- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA BOUNDARY
- FLOW DIRECTION
- POSITIVE OVERFLOW DIRECTION
- FUTURE FLOW DIRECTION
- PROPOSED FLOW DIRECTION

**RATIONAL METHOD RUNOFF CALCULATIONS**

$R_u = C I A$   
 $C =$  RUNOFF COEFFICIENT  
 $I =$  RAINFALL INTENSITY  
 $A =$  AREA IN ACRES

EXISTING DRAINAGE AREAS

Drainage Area	Area (Acres)
A	9.33
B	2.75
C	54.34
D	20.8



Existing 110' Creek

Channel	110 inches
Velocity	1.800
Manning's Coefficient	0.015
Channel Capacity	60.00 cfs
Channel Slope	0.0075 %
Channel Length	720 ft

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FARMERSVILLE, TEXAS



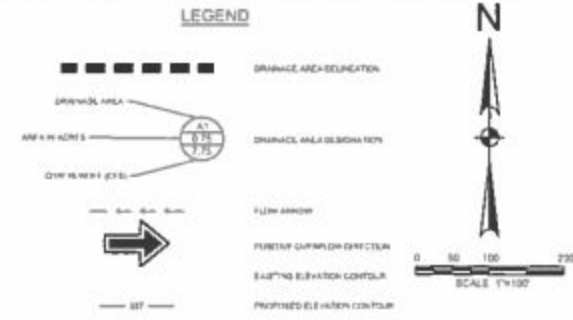
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DATE: 05/12/2017  
BY: J. J. JONES

Project No: 31492  
Issue: MAY 2017  
Drawn By: JJJ  
Checked By: JJJ  
Scale: AS SHOWN

Sheet Title: EXISTING SITE DRAINAGE AREA MAP  
C4.02



**RATIONAL METHOD RUNOFF CALCULATIONS**

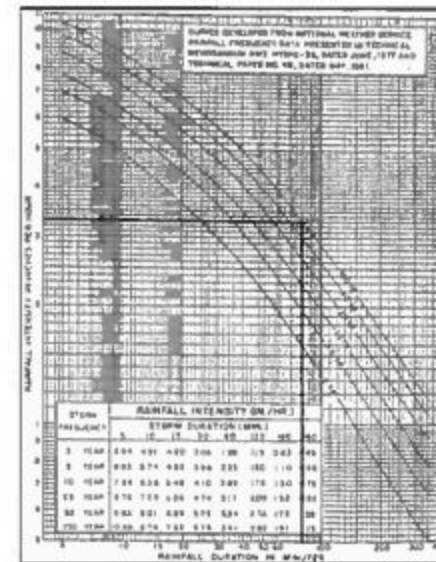
C<sub>o</sub> = 0.15  
 C = 0.05 (IMPERVIOUS)  
 I = 3.0 (INCHES PER HOUR)  
 A = 54.34 ACRES

PER FIG. 8.1 OF CITY OF FARMERSVILLE MANUAL FOR THE DESIGN OF STORM DRAINAGE SYSTEMS  
 PER FIGURE 10.1 OF CITY OF FARMERSVILLE MANUAL FOR THE DESIGN OF STORM DRAINAGE SYSTEMS

**PROPOSED DRAINAGE AREA**

COEFF.	AREA
C <sub>o</sub> =	0.15
C =	0.05
I =	3.0 INCHES PER HOUR
A =	54.34 ACRES
Q =	11.75 CFS

Total Time of Concentration = 86 minutes



**IACC CEMETERY**  
FARMERSVILLE, TEXAS

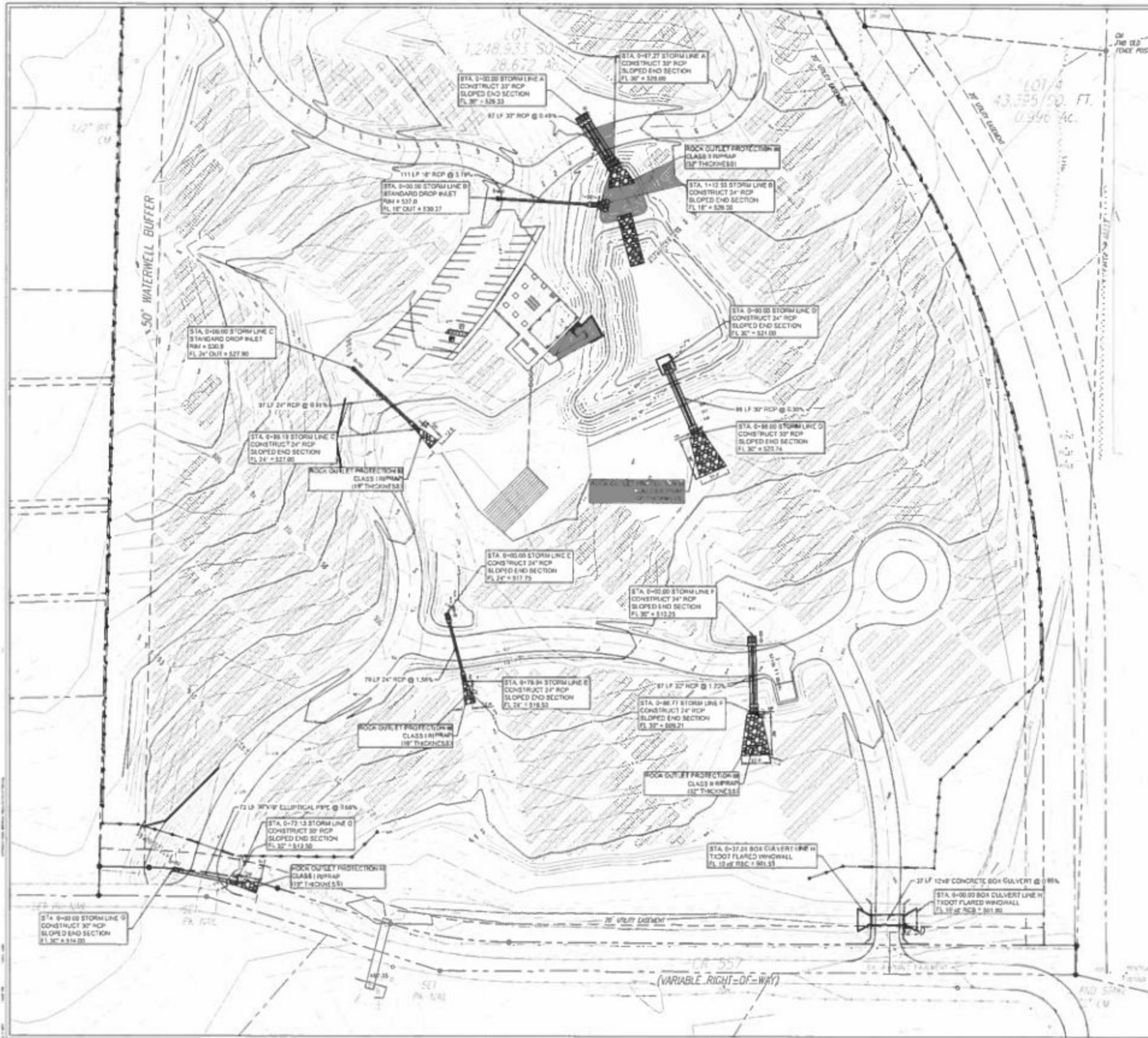


**PRELIMINARY**  
FOR INTERIM REVIEW ONLY

Project No: 21402  
 Name: MAY 25/19  
 Designer: [blank]  
 Checker: [blank]  
 Date: 05/21/19

Project No: 21402  
 Name: MAY 25/19  
 Designer: [blank]  
 Checker: [blank]  
 Date: 05/21/19

PROPOSED DRAINAGE AREA MAP  
C4.03



Flow from Culvert (Manning Equation)  
 (Q) = (K) \* (A) \* (S)^(2/3) / (n)

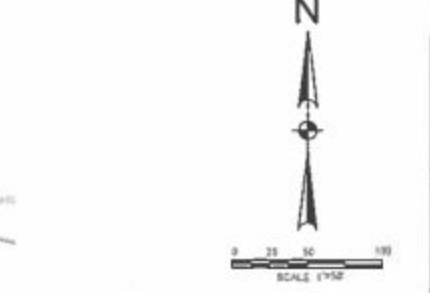
Storm Line	Flow (cfs)
Storm Line A	1.488
Storm Line B	0.013
Storm Line C	0.013
Storm Line D	0.013
Storm Line E	0.013
Storm Line F	0.013
Storm Line G	0.013
Storm Line H	0.013

Storm Line	Flow (cfs)
Storm Line A	1.488
Storm Line B	0.013
Storm Line C	0.013
Storm Line D	0.013
Storm Line E	0.013
Storm Line F	0.013
Storm Line G	0.013
Storm Line H	0.013

Storm Line	Flow (cfs)
Storm Line A	1.488
Storm Line B	0.013
Storm Line C	0.013
Storm Line D	0.013
Storm Line E	0.013
Storm Line F	0.013
Storm Line G	0.013
Storm Line H	0.013

1. STORM FLOW Q IS CALCULATED FOR THE NATIONAL METHOD.  
 2. INTENSITY IS PER CITY OF FARMERSVILLE MANUAL FOR THE DESIGN OF STORM DRAINAGE SYSTEMS.

- LEGEND**
- SURFACE FLOW DIRECTION
  - EXISTING CONTOUR
  - EXISTING SPOT ELEVATION
  - PROPOSED CONTOUR
  - PROPOSED SPOT ELEVATION
  - POSITIVE OVERFLOW DIRECTION
  - PROPOSED CONCRETE SLOPED END SECTION
  - PROPOSED REINFORCED CONCRETE PIPE
  - PROPOSED STORM INLET



IACC CEMETERY  
 FARMERSVILLE, TEXAS

**HALFF**  
 ENGINEERS, ARCHITECTS, PLANNERS  
 1100 WEST 11TH STREET  
 FARMERSVILLE, TEXAS 77834

Storm Line	Flow (cfs)
A	1.488
B	0.013
C	0.013
D	0.013
E	0.013
F	0.013
G	0.013
H	0.013

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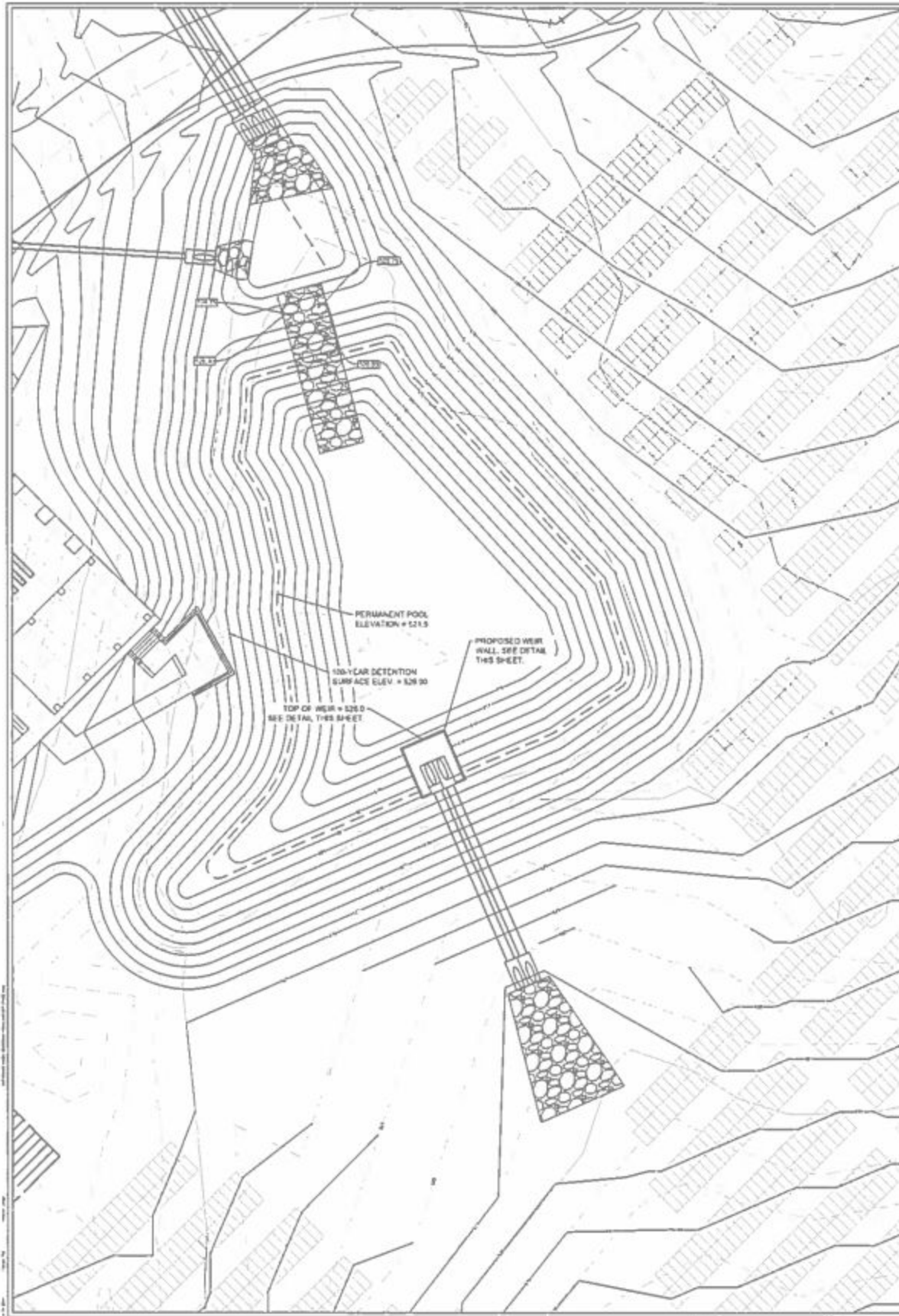
DATE: 05/27/17  
 DRAWN BY: JSM  
 CHECKED BY: JSM  
 SCALE: AS SHOWN  
 SHEET NO. 1 OF 1

Project No. 11482  
 Revised: MAY 27, 17  
 Drawn By: JSM  
 Checked By: JSM  
 Scale: AS SHOWN  
 Sheet No. 1 OF 1

**STORM DRAIN PLAN**

C4.04

Sheet Number



**EXISTING DRAINAGE AREA**

Q-CA	74.1
C	0.50
I <sub>a</sub>	3.63
A	76.67 ACRES
Q	31.22 CFS

Time of Concentration = 75 minutes

**PROPOSED DRAINAGE AREA**

Q-CA	74.1
C	0.40
I <sub>a</sub>	3.81
A	76.67 ACRES
Q	24.82 CFS

Time of Concentration = 80 minutes

**Orifice Flow**

Q	CA <sup>2</sup> /4	Orifice Flow Equation
C	0.61	Coefficient of Discharge
A	7.14 sq ft	Area of Orifice
H	27.5 ft above	Head
Height of water	526.1	Top of Outlet Structure
H	8.0 ft	Depth of water to Center of Orifice
H	17.5 ft	Radius of Orifice
Q	36.76 cfs	Discharge

BECAUSE ORIFICE FLOW (36.76 CFS) IS ALLOWABLE (EXISTING DISCHARGE (31.22 CFS) DESIGN IS ACCEPTABLE.

**100 YR MODIFIED RATIONAL METHOD**

**EXISTING SITE CONDITIONS**  
 C 0.50  
 I<sub>a</sub> 3.63  
 A 76.67

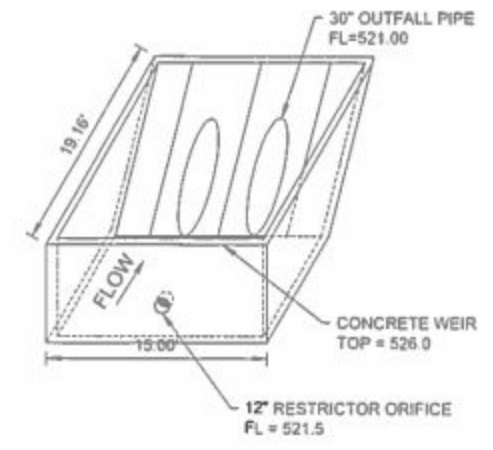
**PROPOSED SITE CONDITIONS**  
 C 0.40  
 I<sub>a</sub> 3.81  
 A 76.67  
 Maximum Outflow Rate (Q-CA) 26.78

**CITY OF FARMERSVILLE 100 YEAR CALCULATION**

Duration (minutes)	Intensity (inches/hour)	Depth (inches)	Discharge (CFS)	Volume (Cu Ft)	Duration (minutes)	Outflow (CFS)	Volume (Cu Ft)	Storage (Cu Ft)
5	12.45	0.87	136.3	681.5	10	27.881	2788.1	6133.6
10	8.19	1.46	159.7	1597.0	20	26.868	5373.6	10757.4
15	7.52	1.88	166.2	2493.0	25	26.158	6539.5	13243.5
20	6.93	2.27	170.0	3400.0	30	25.561	7618.2	15222.3
25	6.39	2.68	171.1	4312.5	35	25.051	8618.7	16783.6
30	5.92	3.08	170.0	5230.0	40	24.608	9540.8	17922.8
40	5.30	3.33	171.1	6844.0	45	24.225	10391.3	18731.5
45	4.92	3.52	170.0	7560.0	50	23.891	11170.5	19410.0
50	4.61	3.67	170.0	8280.0	55	23.598	11887.7	19967.3
60	4.23	3.78	170.0	10110.0	60	23.345	12543.0	20414.0
70	3.91	3.84	169.0	11568.0	65	23.122	13136.3	20760.7
80	3.62	3.87	168.0	12768.0	70	22.929	13667.7	21017.4
90	3.37	3.88	167.0	13710.0	75	22.756	14137.0	21184.1
100	3.15	3.88	166.0	14400.0	80	22.598	14544.0	21270.0

Required Storage 1.08 cubic feet  
 Storage Volume Provided 70.300 cubic feet  
 WSE 528.00

NOTE: DETENTION AREA (28.87 ACRES) REPRESENTS THE AREA OF THE SITE AFTER RIGHT-OF-WAY TAKING AND DOES NOT INCLUDE AREA EAST OF THE PROPOSED RIGHT-OF-WAY.



**WEIR OUTFALL RESTRICTOR STRUCTURE**  
SCALE: NTS

- LEGEND**
- SURFACE FLOW DIRECTION
  - - - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - PROPOSED SPOT ELEVATION
  - PG POSITIVE OVERFLOW DIRECTION
  - PROPOSED CONCRETE SLOPED END SECTION
  - PROPOSED REINFORCED CONCRETE PIPE
  - PROPOSED STORM INLET



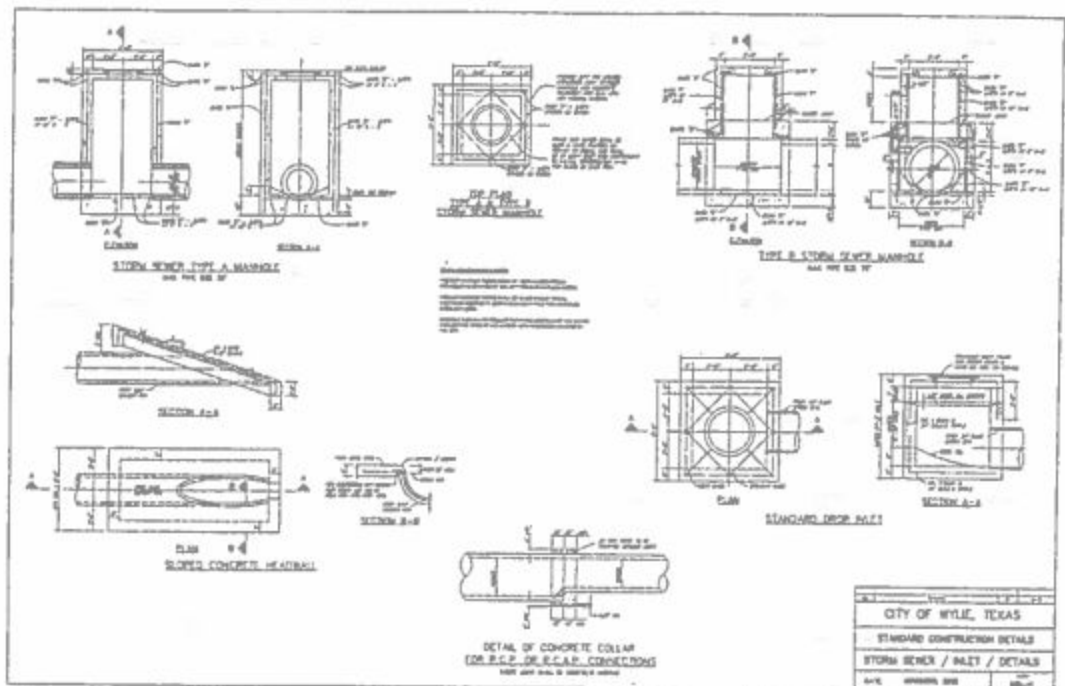
**IACC CEMETERY**  
FARMERSVILLE, TEXAS



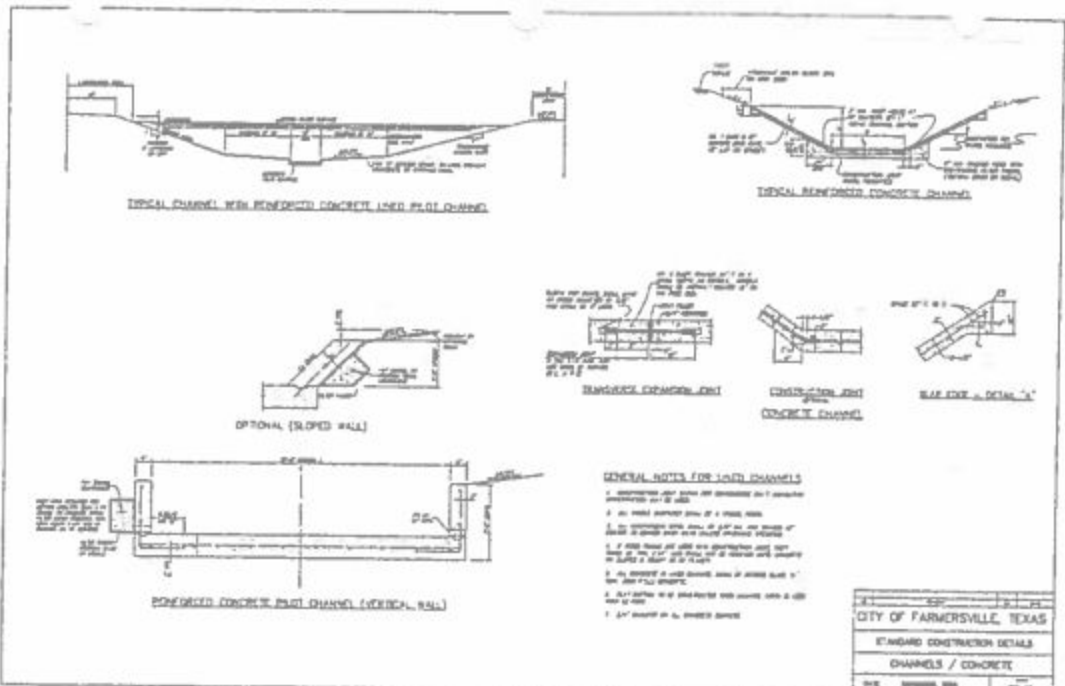
Revision	Description

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Project No.	31492
Issued	MAY 2017
Drawn By	DBM
Checked By	DBM
Scale	AS SHOWN
Sheet Title	DETENTION POND PLAN
C4.05	Sheet Number

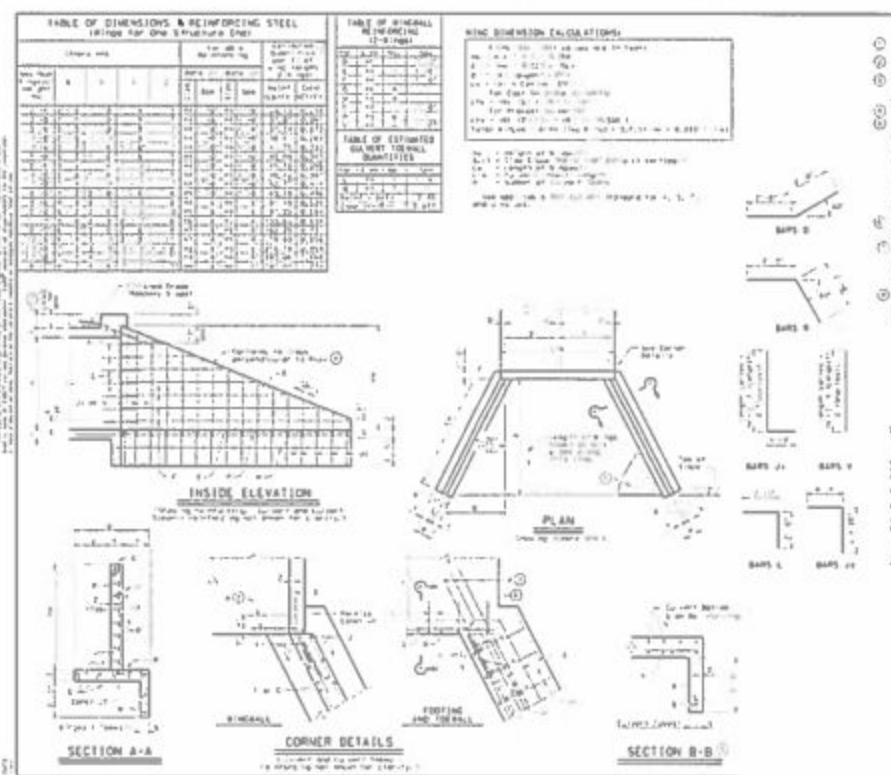


CITY OF WYLE, TEXAS	
STANDARD CONSTRUCTION DETAILS	
STORM SEWER / MANHOLE DETAILS	
DATE	REVISION



- GENERAL NOTES FOR JOINT CHANNELS**
1. CHANNELS SHALL BE CONSTRUCTED AS SHOWN UNLESS OTHERWISE NOTED.
  2. ALL JOINTS SHALL BE MADE WITH A JOINT SEALANT.
  3. ALL JOINTS SHALL BE MADE WITH A JOINT SEALANT.
  4. ALL JOINTS SHALL BE MADE WITH A JOINT SEALANT.
  5. ALL JOINTS SHALL BE MADE WITH A JOINT SEALANT.
  6. ALL JOINTS SHALL BE MADE WITH A JOINT SEALANT.
  7. ALL JOINTS SHALL BE MADE WITH A JOINT SEALANT.

CITY OF FARMERSVILLE, TEXAS	
STANDARD CONSTRUCTION DETAILS	
CHANNELS / CONCRETE	
DATE	REVISION



- GENERAL NOTES**
1. ALL CONCRETE SHALL BE CAST IN PLACE.
  2. ALL CONCRETE SHALL BE CAST IN PLACE.
  3. ALL CONCRETE SHALL BE CAST IN PLACE.
  4. ALL CONCRETE SHALL BE CAST IN PLACE.
  5. ALL CONCRETE SHALL BE CAST IN PLACE.
  6. ALL CONCRETE SHALL BE CAST IN PLACE.
  7. ALL CONCRETE SHALL BE CAST IN PLACE.
  8. ALL CONCRETE SHALL BE CAST IN PLACE.
  9. ALL CONCRETE SHALL BE CAST IN PLACE.
  10. ALL CONCRETE SHALL BE CAST IN PLACE.

CONCRETE WINGWALLS WITH FLARED WINGS FOR 6\"/>	
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IACC CEMETERY  
FARMERSVILLE, TEXAS

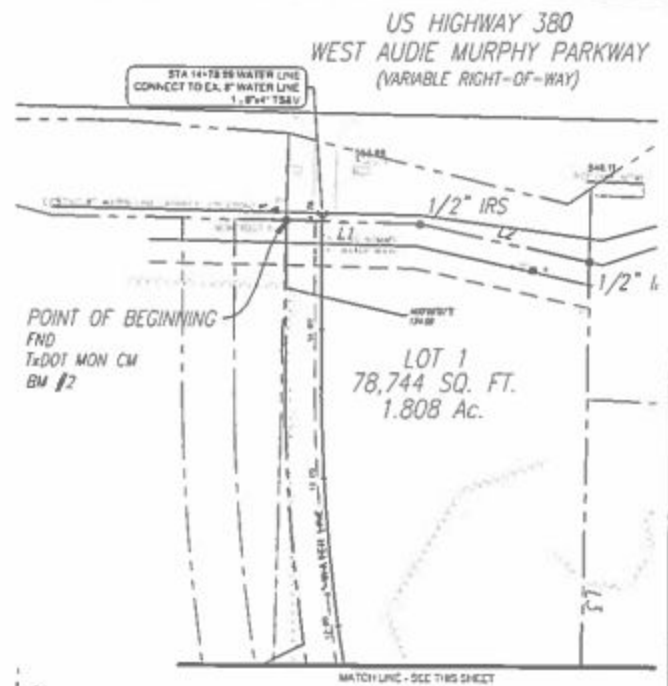
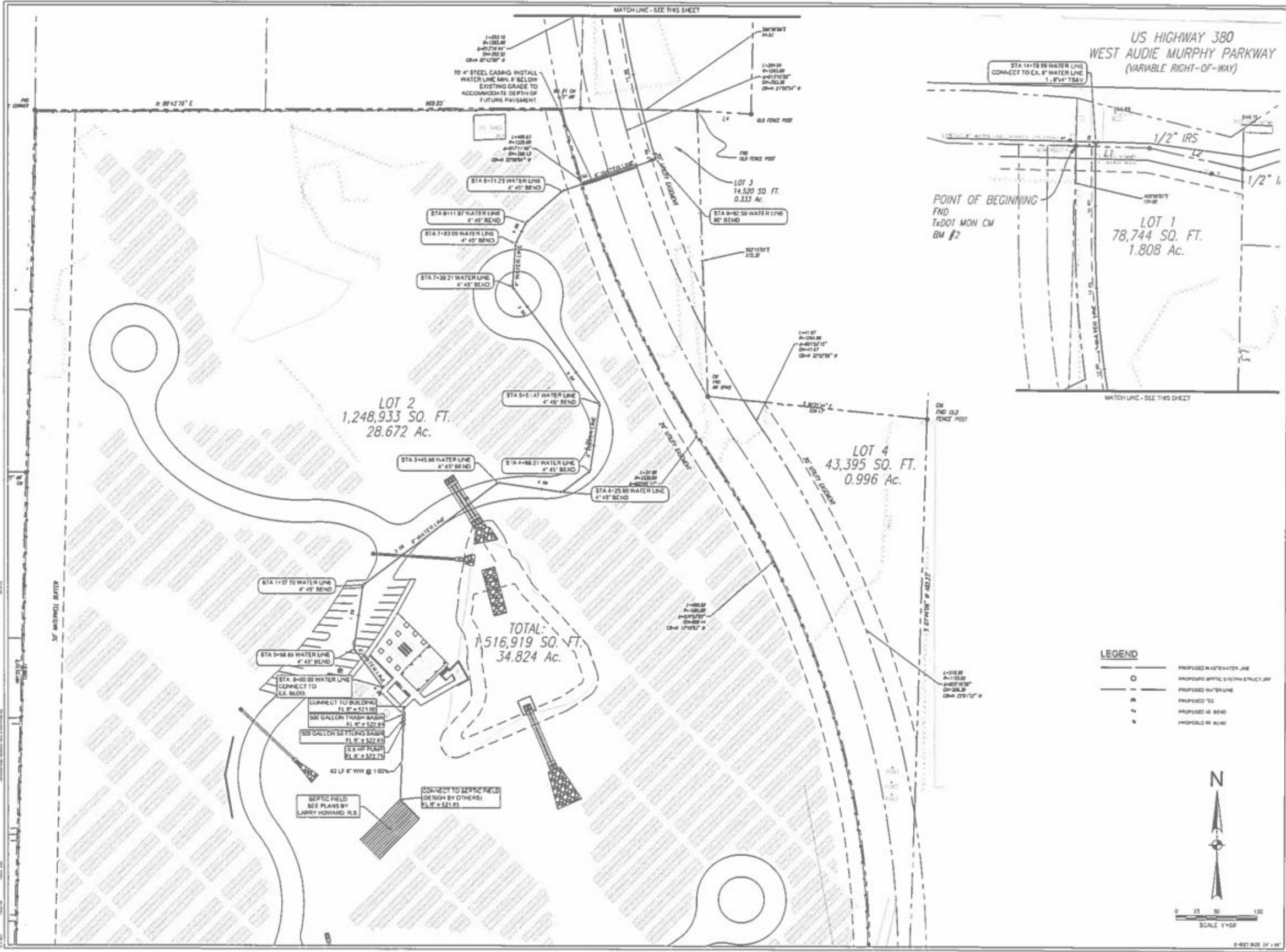


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Project No.	21452
Revised	MAY 2017
Drawn By	EDW
Checked By	EDW
Scale	AS SHOWN
Sheet Title	STORM SEWER DETAILS

C4.06  
Sheet Number





**LEGEND**

	PROPOSED WATER LINE
	PROPOSED WATER LINE WITH STRUCTURE
	PROPOSED WATER LINE
	PROPOSED TEE
	PROPOSED 45° BEND
	PROPOSED 90° BEND



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FARMERSVILLE, TEXAS

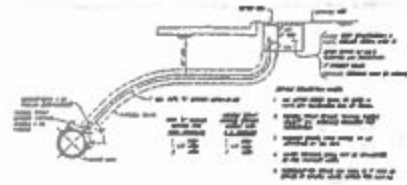


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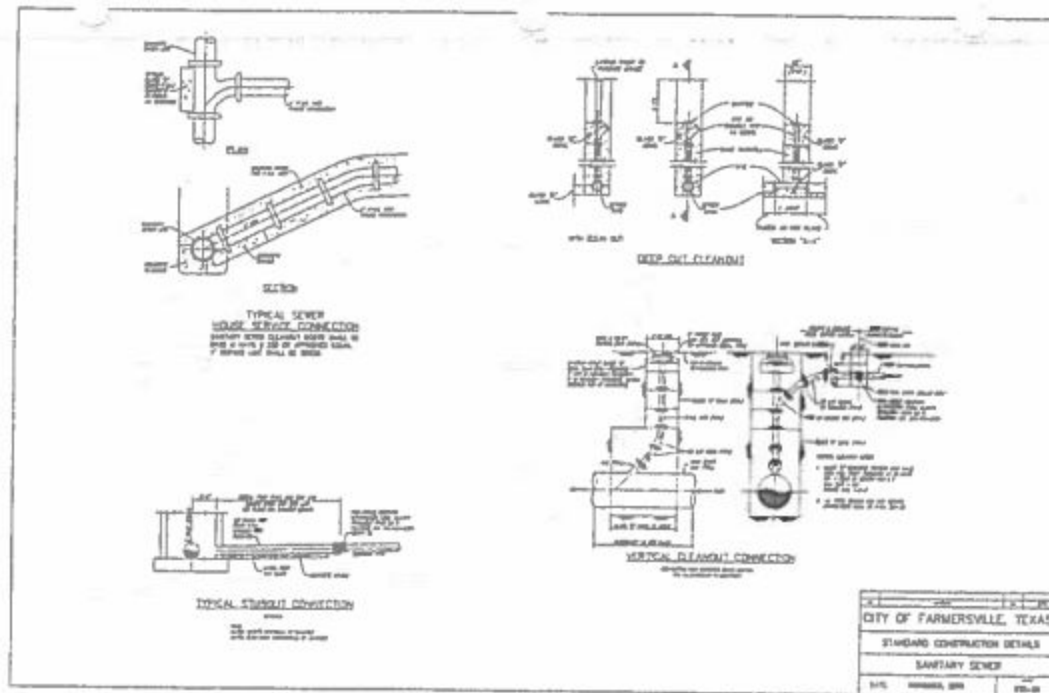
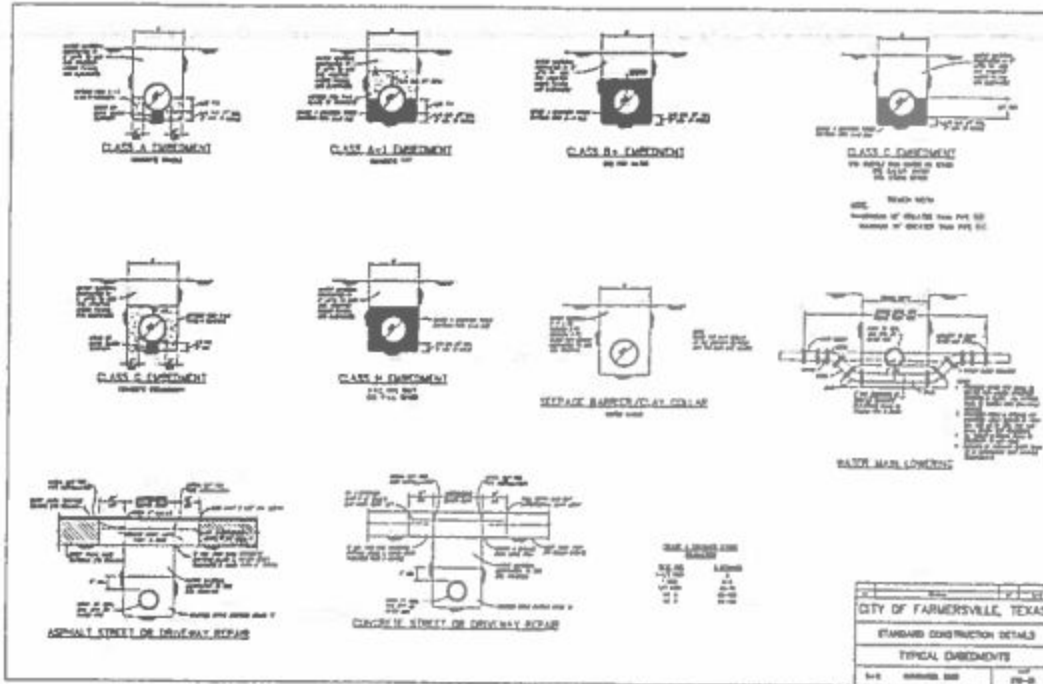
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DATE: 05/23/17  
DRAWN BY: CDB

Project No. 31482  
Issued: MAY 2017  
Drawn By: CDB  
Checked By: CDB  
Scale: AS SHOWN  
Sheet Title: UTILITY PLAN  
Sheet Number: C5.01



TYPICAL STREET CONNECTION WITH MANHOLE



IACC CEMETERY  
FARMERSVILLE, TEXAS



Rev.	Date	Description

**PRELIMINARY**  
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Project No. 31492  
Issued: MAY 2017  
Drawn By: LHM  
Checked By: LHM  
Scale: AS 6-03/17  
Sheet Title: UTILITY DETAILS

C5.02  
Sheet Number



CITY OF FARMERSVILLE, TX

**CONSTRUCTION PHASING**

PHASE I: INSTALL EROSION CONTROL DEVICES  
 PHASE II: SITE GRADING & EXCAVATION / DRAINAGE INSTALLATION  
 PHASE III: STORM DRAIN CONSTRUCTION  
 PHASE IV: BRUSHWOOD MATS INSTALLATION  
 PHASE V: BRUSHWOOD LANDSCAPE INSTALLATION  
 PHASE VI: FINAL STABILIZATION  
 PHASE VII: FINAL BRUSHWOOD MATS  
 PHASE VIII: FINAL BRUSHWOOD MATS PROTECTION & MAINTENANCE  
 PHASE IX: FINAL BRUSHWOOD MATS PROTECTION & MAINTENANCE

**GENERAL NOTES**

- ALL EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
- ALL EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
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**EROSION CONTROL NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES.
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**LEGEND**

- BELT FENCE
- SILT FENCE
- STONE SILT FENCE
- ROCK CHECK DAM
- PARKING APRON
- FLOW ARROW

THIS IS NOT A STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR MUST PREPARE ALL NECESSARY DOCUMENTS INCLUDING THE OPERATOR SPECIFIC INFORMATION FOR THE TCEQ. THESE PERMITS NO. 131-150888 INCLUDING ALL DOCUMENTATION CERTIFICATIONS AS REQUIRED BY THE PERMIT.

**IACC CEMETERY**

FARMERSVILLE, TEXAS

**HALFF**

INCORPORATED IN TEXAS  
 1000 W. UNIVERSITY BLVD., SUITE 100  
 FARMERSVILLE, TEXAS 75844  
 TEL: 281-344-1000  
 FAX: 281-344-1001

No.	Date	Description

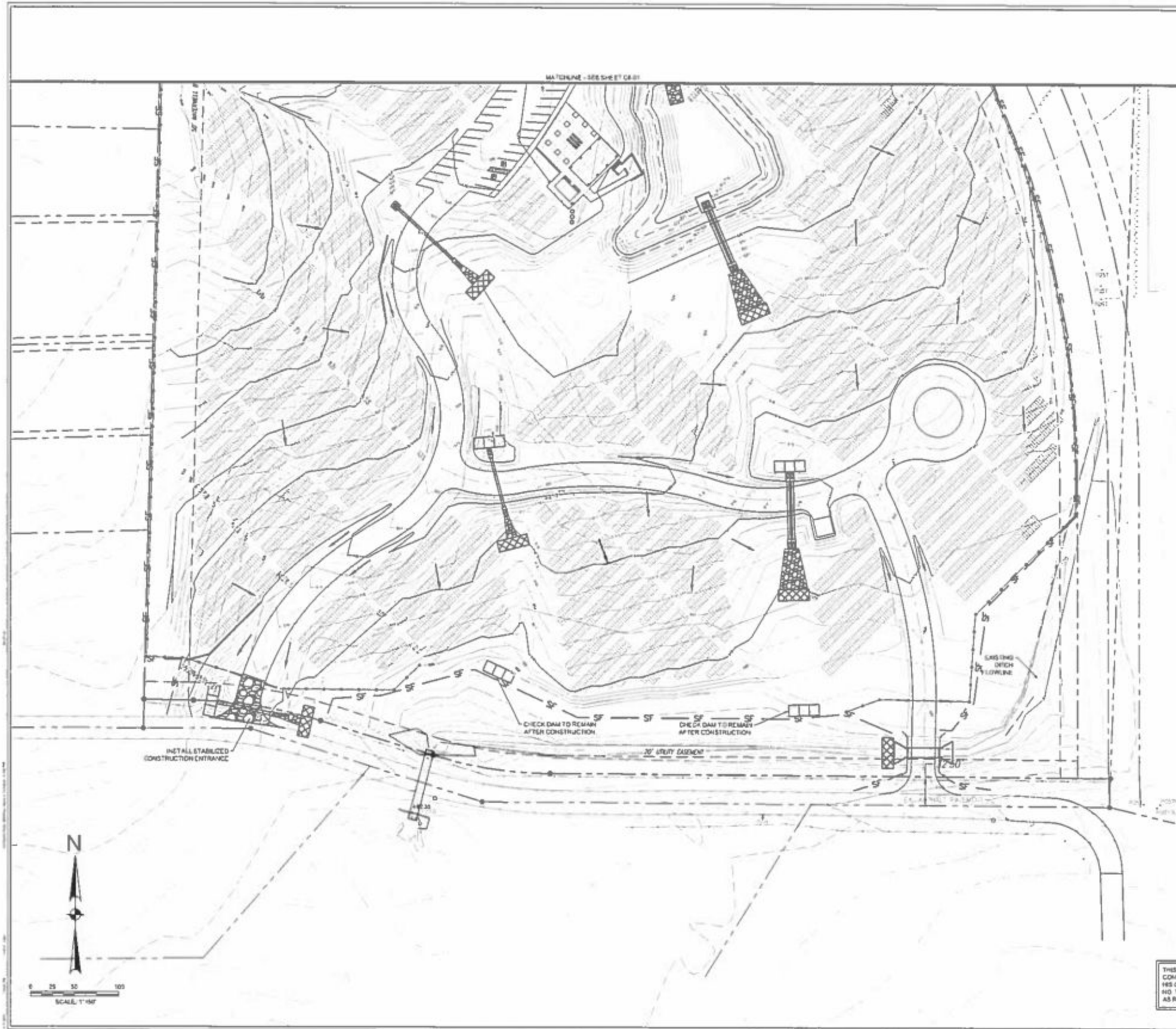
**PRELIMINARY**

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Project No. 31492	Date 04/17/2017
Drawn By: OGH	Checked By: OGH
Scale: AS SHOWN	Sheet Title: EROSION CONTROL PLAN

**C6.01**

Sheet Number



MATCHLINE - SEE SHEET C6.01

- CONSTRUCTION PHASING**
- PHASE I - INITIAL EROSION CONTROL MEASURES
  - PHASE II - SITE CLEARING AND EXCAVATION - GRADING AND EXCAVATION
  - PHASE III - STORM DRAIN CONSTRUCTION
  - PHASE IV - GRADING - UTILITY TRENCHES
  - PHASE V - SITE FINISHING AND LANDSCAPE INSTALLATION
  - PHASE VI - FINAL STABILIZATION
- PHASE I - INITIAL EROSION CONTROL MEASURES**  
 NEW 24" DIA. SALT PILES AT PERMANENT PILE PROTECTION STABILIZED CONSTRUCTION ENTRANCE PILE
- PHASE II - III - EXCAVATION EROSION CONTROL MEASURES**  
 ADDITIONAL SALT PILES AT PERMANENT PILE PROTECTION STABILIZED CONSTRUCTION ENTRANCE PILE
- PHASE IV - V - GRADING EROSION CONTROL MEASURES**  
 ADDITIONAL SALT PILES AT PERMANENT PILE PROTECTION STABILIZED CONSTRUCTION ENTRANCE PILE
- PHASE VI - FINAL STABILIZATION**  
 PERMANENT SALT PILES AT PERMANENT PILE PROTECTION STABILIZED CONSTRUCTION ENTRANCE PILE

- GENERAL NOTES**
1. ALL EXISTING UTILITIES ARE SHOWN SCHEMATICALLY AND ARE FOR THE CONTRACTOR'S REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND SIZE OF ALL UTILITIES BY FIELD SURVEY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ALL AFFECTED UTILITIES AND OBTAIN PERMISSION FOR ANY NECESSARY ACTIONS.
  2. ALL MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF FARMERSVILLE STANDARDS SPECIFICATIONS AND CONSTRUCTION STANDARDS, AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS, CONTRACTS PREPARED BY THE METROPOLITAN TEXAS CHAPTER OF CONSULTING ENGINEERS.
  3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
  4. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED BY THE CONTRACTOR AS SHOWN.

- EROSION CONTROL NOTES**
1. PURSUANT TO THE PERMIT REQUIREMENTS THE CONTRACTOR SHALL PREPARE A STORM WATER POLLUTION PREVENTION PLAN.
  2. THE STRUCTURES CONTAINED HEREIN ARE NOT TO BE CONSIDERED AS A STORM WATER POLLUTION PREVENTION MEASURE. THE CONTRACTOR IS TO USE THE APPROPRIATE EROSION CONTROL MEASURES TO PREVENT EROSION AND TO MAINTAIN THE PERMIT REQUIREMENTS FOR CONSTRUCTION ACTIVITIES UNDER THE TCEQ TCEQ PERMIT AND TCEQ AND TCEQ APPLICABLE PERMITS, RULES, REGULATIONS AND CODES.
  3. CONSTRUCTION SHALL ADD TO THE SITE MAP AT A MINIMUM THE FOLLOWING AND SHALL ADD ADDITIONAL INFORMATION AS REQUIRED BY THE PERMIT:
    - ALL SITE MATERIALS PLANTS COMMON FULL OF EQUIPMENT
    - AREAS OF EROSION AND UNSTABILIZED SOILS
    - CONCRETE OR ASPHALT BATCH PLANTS
    - EQUIPMENT STORAGE AREAS
    - OILS, FUELS AND FLAMMABLE LIQUIDS
    - SANITARY WASTE FACILITIES
    - FUELING AREAS WITH EQUIPMENT
    - CONCRETE OR ASPHALT BATCH PLANTS
    - REPAIR PHASES BACKLOG AS APPROPRIATE FOR THE PROJECT
  4. THE TCEQ TCEQ PERMIT "REQUIRES BEST MANAGEMENT PRACTICES FEASIBLE FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10% OR MORE IMPERVIOUS COVER. THE TCEQ TCEQ PERMIT IS 10% OF THE TCEQ TCEQ PERMIT FOR THE REQUIREMENTS.
  5. THE CONTRACTOR SHALL BE THE EROSION CONTROL MEASURES SHOWN ON THIS EROSION CONTROL PLAN WITH THE PROVISION THAT HE AS OPERATOR IS RESPONSIBLE FOR THE PROTECTION, MAINTENANCE AND REPAIR OF THE EROSION CONTROL MEASURES IN ACCORDANCE WITH THE TCEQ TCEQ PERMIT.
  6. SEE EROSION CONTROL NOTES AND DETAILS SHEET C6.01.

**LEGEND**

	SALT PILE
	SALT PILE
	STORM DRAIN
	STABILIZED CONSTRUCTION ENTRANCE
	ROCK CHECK DAM
	EXISTING CONTOUR
	PROPOSED CONTOUR
	FLOW ARROWS

THIS IS NOT A STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR MUST PREPARE ALL RELEVANT DOCUMENTS INCLUDING HIS OPERATION SPECIFIC INFORMATION PER THE TCEQ TCEQ PERMIT NO. TWR150000 INCLUSIVE ALL DOCUMENTATION - CERTIFICATIONS AS REQUIRED BY THE PERMIT.

**IACC CEMETERY**  
 FARMERSVILLE, TEXAS



**PRELIMINARY**  
 FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. ANY CHANGES TO THE DOCUMENTS SHALL BE MADE BY THE DESIGNER.

Project No. 31482  
 Issued: MAY 2017  
 Drawn By: DSH  
 Checked By: DSH  
 Scale: AS SHOWN

Sheet Title: EROSION CONTROL PLAN

C6.02

Sheet Number

**EROSION CONTROL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH TCEQ TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) PERMIT NO. T1910066 (PERMIT). THE DETAILS SHOWN ON THIS SHEET REPRESENT TYPICAL METHODS FOR CONTROLLING EROSION DURING CONSTRUCTION AND ARE INTENDED FOR THE CONTRACTOR'S GUIDANCE IN PREPARING HIS POLLUTION PREVENTION PLAN. THE CONTRACTOR'S PLAN SHALL COMPLY WITH THE PERMIT AND FEDERAL, STATE AND LOCAL REQUIREMENTS.

2. THE CONTRACTOR'S PLAN SHALL INCLUDE, BUT NOT BE LIMITED TO, PREPARATION AND SUBMITTAL OF A NOTICE OF INTENT (NOI) TO THE TCEQ IF THE PROJECT IS 5 ACRES OR LARGER AND PREPARATION OF ALL PLANS AND DOCUMENTATION AS REQUIRED BY THE PERMIT.

3. IT IS THE INTENT OF THE INFORMATION PROVIDED ON THESE DOCUMENTS TO BE USED AS A GENERAL GUIDELINE FOR THE CONTRACTOR. THE SWPPP TO BE PREPARED BY THE CONTRACTOR SHALL MEET THE CURRENT REQUIREMENTS SET FORTH IN THE TCEQ'S TPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION SITES AS WELL AS ANY LOCAL REQUIREMENTS.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL DURING CONSTRUCTION AND FOR OBTAINING ANY REQUIRED CONSTRUCTION RELATED DRAINAGE PERMITS. SWPPP HAVING ANY CONSTRUCTION RELATED NOTIFICATIONS, AN INSPECTION REPORT THAT SUMMARIZES INSPECTION ACTIVITIES AND IMPLEMENTATION OF THE SWPPP SHALL BE PERFORMED AS REQUIRED BY THE PERMIT AND RETAINED BY THE CONTRACTOR AND MADE A PART OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP DOCUMENTS INCLUDING, BUT NOT LIMITED TO, INSPECTION RECORDS, ORIGINAL PLANS, AND MODIFIED PLANS TO THE OWNER AT CONTRACT CLOSE-OUT DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE COPIES OF THE INSPECTION REPORTS TO THE OWNER ON A MONTHLY BASIS.

5. TEMPORARY STORM DRAINAGE AND/OR EROSION CONTROL MATERIAL SHALL BE SUITABLE FOR THIS APPLICATION AND SHALL BE INSTALLED WITH THE PROPER TECHNIQUES BY THE CONTRACTOR AS REQUIRED BY TCEQ STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. TEMPORARY STORM DRAINAGE AND/OR EROSION CONTROL MATERIAL SHALL BE REMOVED BY THE CONTRACTOR IN ADDITION TO ANY ERECTIONS BACKFILLED BY THE CONTRACTOR IN ACCORDANCE WITH TCEQ STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION WHEN TEMPORARY EROSION CONTROL DEVICES ARE NO LONGER NEEDED AS SPECIFIED IN THE PERMIT. MAINTENANCE OF THE PERMANENT EROSION CONTROL MEASURES AT THE SITE WILL BE ASSUMED BY THE OWNER AT CONTRACT CLOSE-OUT AND ACCEPTANCE OF THE WORK.

6. THE CONTRACTOR SHALL MAINTAIN HIS SWPPS IN ACCORDANCE WITH THE TCEQ PERMIT AND MAKE HIS SWPPS AVAILABLE UPON REQUEST TO THE TCEQ AND/OR CITY.

7. THE CONTRACTOR MUST AMEND HIS SWPPS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION OR MAINTENANCE OF THE SWPPS, OR WHEN THE EXISTING SWPPS PROVES INEFFECTIVE.

8. MODIFICATIONS SHALL NOT COMPROMISE THE INTENT OF THE REQUIREMENTS OF THE PERMIT. MODIFICATIONS INCLUDING DESIGN AND ALL ADDITIONAL MATERIALS AND WORK SHALL BE ACCOMPLISHED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

9. THE CONTRACTOR SHALL INSPECT HIS STABILIZATION AND EROSION CONTROL MEASURES AT A MINIMUM OF ONCE EVERY 14 DAYS, AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES, OR ONCE EVERY 7 DAYS. THE CONTRACTOR SHALL REPAIR ANY DEFICIENCIES REVEALED BY THE INSPECTION BEFORE THE NEXT STORM EVENT AND HE SHALL MODIFY HIS SWPPS WITHIN 7 DAYS OF THE INSPECTION.

10. THE CONTRACTOR SHALL ADOPT AND IMPLEMENT APPROPRIATE CONSTRUCTION SITE MANAGEMENT PRACTICES TO PREVENT THE DISCHARGE OF OILS, GREASE, PAINTS, GASOLINE, AND OTHER POLLUTANTS TO STORM APPROPRIATE PRACTICES SHALL INCLUDE, BUT NOT BE LIMITED TO, DESIGNATING AREAS FOR EQUIPMENT MAINTENANCE AND REPAIR, COLLECTING WASTES PERIODICALLY, MAINTAINING CONVEIENTLY LOCATED WASTE RECEPTACLES AND DESIGNATING AND CONTROLLING EQUIPMENT WASH-DOWNS.

11. BORROW AREAS, IF EXCAVATED, SHALL BE PROTECTED AND STABILIZED BY THE CONTRACTOR IN A MANNER ACCEPTABLE TO THE OWNER AND IN ACCORDANCE WITH PERMIT REQUIREMENTS.

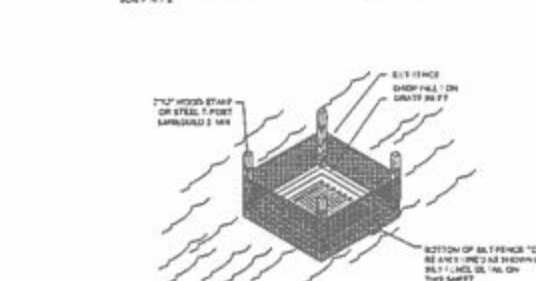
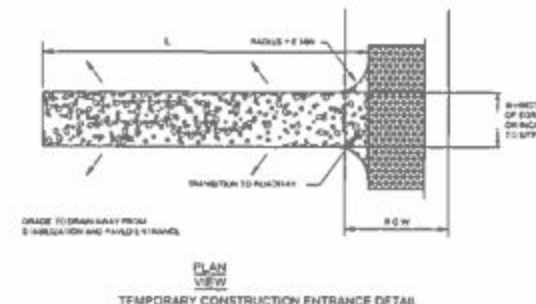
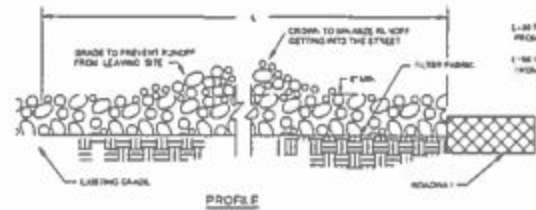
12. ALL NON-PAVED AREAS SHALL BE SEEDED AND MULCHED WITH EROSION PROTECTION GRASS BY THE CONTRACTOR IMMEDIATELY UPON COMPLETION OF FINAL GRADING. THIS INCLUDES ALL DETICHES AND EMBANKMENTS. THE CONTRACTOR SHALL MAINTAIN FINAL GRASSING, AND KEEP SEEDING AREAS WATERED UNTIL FULLY ESTABLISHED AND ACCEPTED BY OWNER.

13. THE CONTRACTOR SHALL CONSTRUCT A SILT FENCE AT LOCATIONS SUGGESTED ON PLANS AS APPROPRIATE OR AS ADOPTED IN HIS SWPP TO FIT SITE CONDITIONS AT THE TIME OF PLACEMENT. AND ALL BORROW AND STOCKPILE AREAS. THE SILT FENCE SHALL BE CONSTRUCTED AS DETAILED ON THESE PLANS. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN IT REACHES A DEPTH OF 10 TO THE HEIGHT OF THE SILT FENCE. THE CONTRACTOR SHALL DISPOSE OF THE REMOVED SILT IN A LOCATION APPROVED BY THE OWNER AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO EROSION AND SEDIMENTATION. THE CONTRACTOR SHALL REMOVE THE SILT FENCE WHEN THE SITE IS COMPLETELY STABILIZED IN ACCORDANCE WITH THE PERMIT.

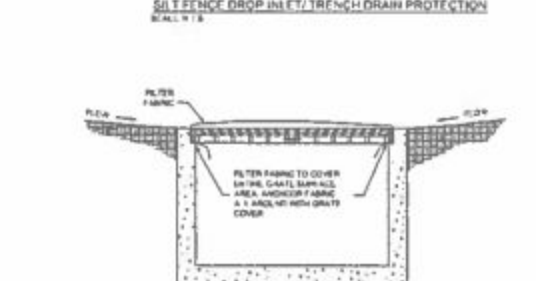
14. THE CONTRACTOR SHALL DESIGNATE MATERIAL AND EQUIPMENT STORAGE AREAS MUTUALLY AGREED TO BY THE OWNER. THE STORAGE AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND THE SURFACE STABILIZED WITH A MINIMUM OF 2 INCHES OF COMPACTED FILL BASE OR 6 INCHES OF SCARIFIED AND RECOMPACTED SUBGRADE BY THE CONTRACTOR. A SILT FENCE SHALL BE INSTALLED BY THE CONTRACTOR AROUND THE STORAGE AREAS TO PREVENT ERODED MATERIAL FROM LEAVING THE SITE.

15. ALL INLETS (ON-SITE AND OFF-SITE) RECEIVING DRAINAGE WATER FROM DISTURBED AREAS SHALL BE PROTECTED BY THE CONTRACTOR AS PER DETAILS SHOWN ON OTHER OWNER APPROVED METHODS TO PREVENT DROPPED MATERIAL FROM BEING TRANSPORTED INTO INLETS. THE INLET PROTECTION SHALL BE CONSTRUCTED AS SHOWN ON THESE PLANS.

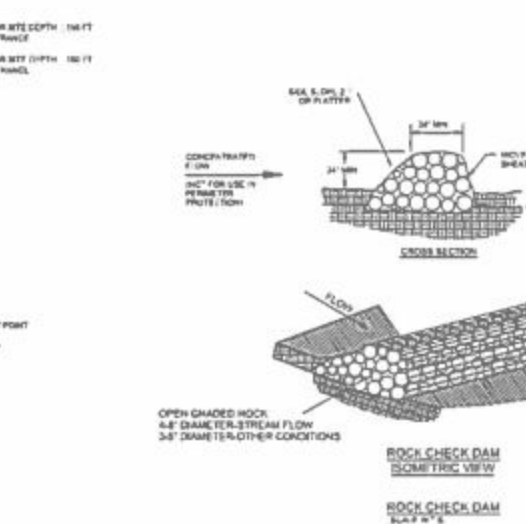
16. THE NOTES AND DETAILS CONTAINED HEREIN DO NOT RELIEVE THE CONTRACTOR AND OWNER OF MEETING AND IMPLEMENTING THE REQUIREMENTS OF THE PERMIT.



NOTE: FENCE HEIGHT IS TO BE 18 INCHES FROM ONE OR MORE SIDES TO THE DROP INLET. AREA REQUIRES A STONE CURB STRUCTURE TO BE CONSTRUCTED ON ONE SIDE OF THE DROP INLET.



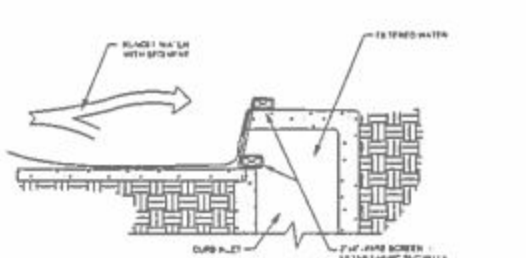
NOTE:  
1. FILTER FABRIC CURB INLET PROTECTION TO BE REMOVED WHEN SITE IS FULLY STABILIZED.  
2. FILTER FABRIC TO BE CLEANED AFTER EACH RAIN EVENT AT EACH INLET.



NOTE: CURB SHALL BE 18 INCHES HIGH AND 18 INCHES WIDE. THE CURB SHALL BE CONSTRUCTED AS DETAILED ON THESE PLANS. THE CURB SHALL BE CONSTRUCTED AS DETAILED ON THESE PLANS.



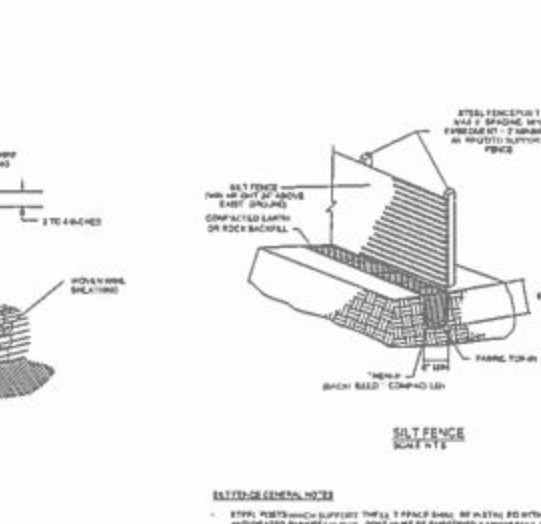
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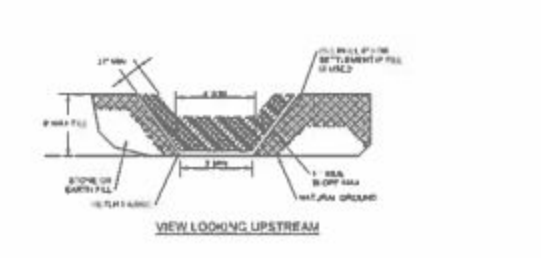
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**SILT FENCE GENERAL NOTES**

- SILT FENCE WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED WITHIN 10 FEET FROM THE DOWNSTREAM END OF THE SILT FENCE. THE SILT FENCE SHALL BE INSTALLED IN A MANNER AS DETAILED ON THESE PLANS.
- THE SILT FENCE SHALL BE CONSTRUCTED AS DETAILED ON THESE PLANS. THE SILT FENCE SHALL BE CONSTRUCTED AS DETAILED ON THESE PLANS.
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- INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAIN EVENT. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS REQUIRED.
- SILT FENCE SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 10 INCHES. THE SILT FENCE SHALL BE DISPOSED OF IN A MANNER AS TO NOT CONTRIBUTE TO EROSION AND SEDIMENTATION.

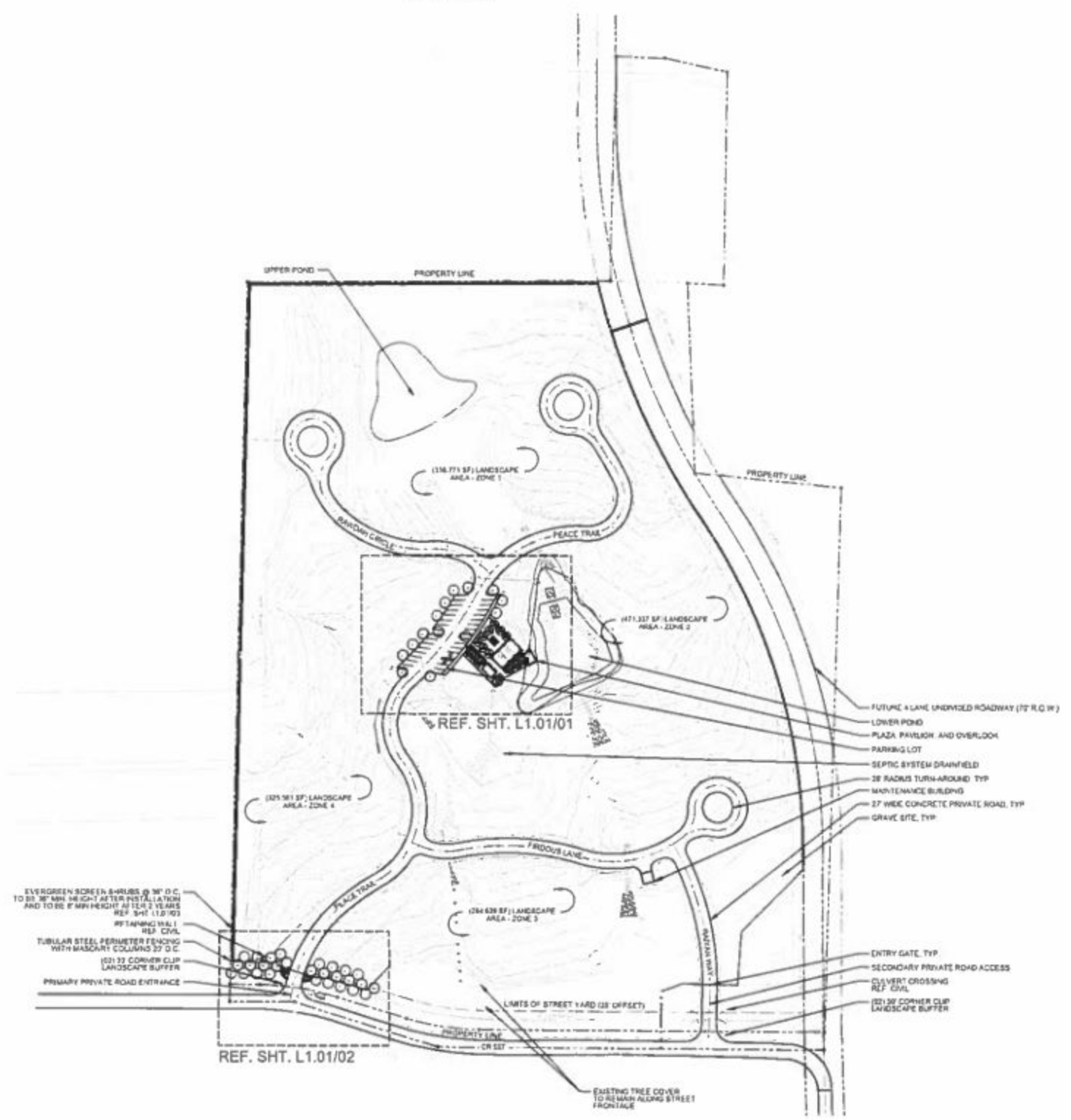
IACC CEMETERY  
FARMERSVILLE, TEXAS

HALFF  
CONSULTING ENGINEERS ARCHITECTS

PRELIMINARY  
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Project No. 21483  
Issue Date 04/15/2017  
Drawn By: DBL  
Checked By: DBL  
Scale: AS SHOWN  
Sheet Title: EROSION CONTROL DETAILS  
C6.03  
Sheet Number

US HWY 380



FARMERSVILLE LANDSCAPE REQUIREMENTS, CH. 17 - ART. IV - SEC. 17-172

SITE AREA	1-42 911 S.F. (0.4 273 AC)	REQUIRED	PROVIDED
AGRICULTURAL DISTRICT, STREET YARD SETBACK 30'			
LANDSCAPE AREA (% OF SITE) (ZONES 1-4)	148,291 SF	1,418,308 SF	
PERMANENT LANDSCAPE AREA (% OF STREET YARD)	2,182 SF	11,278 SF	
PUBLIC STREET INTERSECTIONS (OF LANDSCAPE BUFFER)	4	4	
STREET FRONTAGE (1 TREE / 45 LF) (1 100 LF)	39	39	
SITE TREES (50% TO BE CANOPY TREES)	29	43	
PARKING LOT (32 SPACES)			
LANDSCAPE AREA W/ 1 TREE WITHIN 50' OF EVERY PARKING SPACE	8	14	
1 TREE / 10 PARKING SPACES	4	14	

FARMERSVILLE LANDSCAPE REQUIREMENTS, CH. 17 - ART. IV - SEC. 17-172

MAINTENANCE STANDARDS	SCHEDULED MAINTENANCE
MOWING (8" MIN HEIGHT)	BI-WEEKLY AS NEEDED
EDGING	BI-MONTHLY AS NEEDED
PRUNING (TRUNK & BRANCH)	QUARTERLY
FERTILIZING	ANNUALLY
WATERING	AS NEEDED
WEEDING	MONTHLY
DEBRIS/TREE REMOVAL	WEEKLY

**GENERAL NOTES**

- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL ABOVE GROUND AND UNDERGROUND UTILITIES PRIOR TO LANDSCAPE INSTALLATION. EXTREME CARE AND CAUTION SHOULD BE EXERCISED WHEN EXCAVATING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE AND SUBSEQUENT REPAIR TO ANY EXISTING UTILITIES.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL RECEIVE BERMUDA GRASS HYDRONALCH UNLESS OTHERWISE NOTED.
- UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL REMOVE ALL CONSTRUCTION RELATED TRASH AND DEBRIS FROM THE PROJECT LIMITS AND DISPOSE OFF-SITE.

**MAINTENANCE NOTES**

- PER THE CITY OF FARMERSVILLE ORDINANCE, THE OWNER, TRULANT AND/OR THEIR AGENT IF ANY, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES.
- ALL LANDSCAPING MAINTENANCE SHALL INCLUDE MOWING OF GRASSES & OR 15 CM PL. EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, REMOVAL OF TRASH AND LITTER, AS WELL AS ANY ADDITIONAL ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING.
- ALL PLANT MATERIAL SHALL BE UNMATURED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS WHICH ARE SMALLER SHALL BE PLACED WITH PLANT MATERIALS OF SIMILAR SIZE AND SIZE WITHIN THE SAME PERIOD AS STATED IN LANDSCAPE REQUIREMENTS ORDINANCE OR 17-ART. IV - SEC. 17-173 SUBSECTION (C).

**IRRIGATION AFFIDAVIT:**

- ALL REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY A TEXAS LICENSED IRRIGATOR AND INSTALLED BY OWNER PER CITY OF FARMERSVILLE ORDINANCE.
- IRRIGATION SYSTEM TO BE OPERATED WITH AN ET-BASED TWO WIRE IRRIGATION CONTROLLER THAT SHALL INCLUDE RAIN AND FREEZE SENSOR.

**IACC CEMETERY**  
FARMERSVILLE, TEXAS



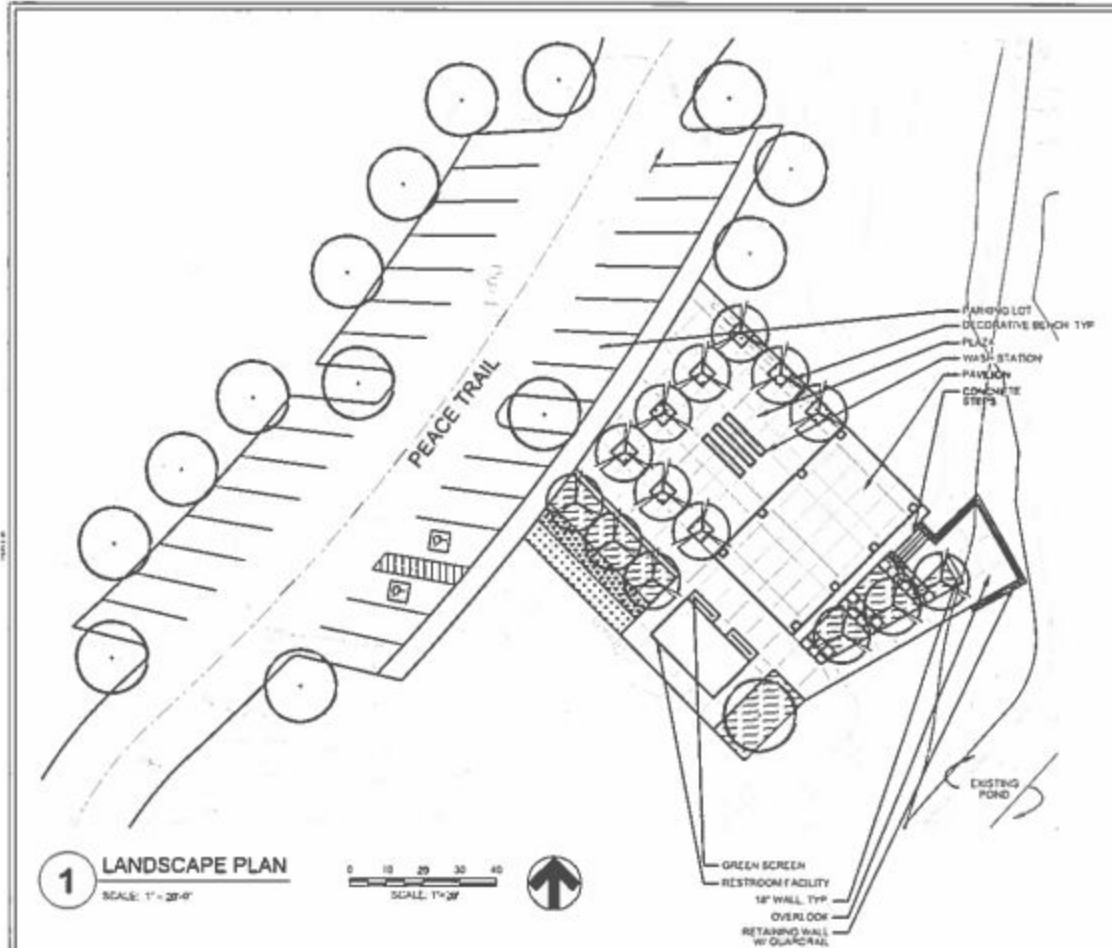

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THIS PLAN, SPECIFICATIONS AND ALL INFORMATION HEREON ARE NOT TO BE USED FOR REGULATORY APPROVAL, PERMIT SUBMISSION OR CONSTRUCTION PURPOSES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE APPROPRIATE AGENCIES.

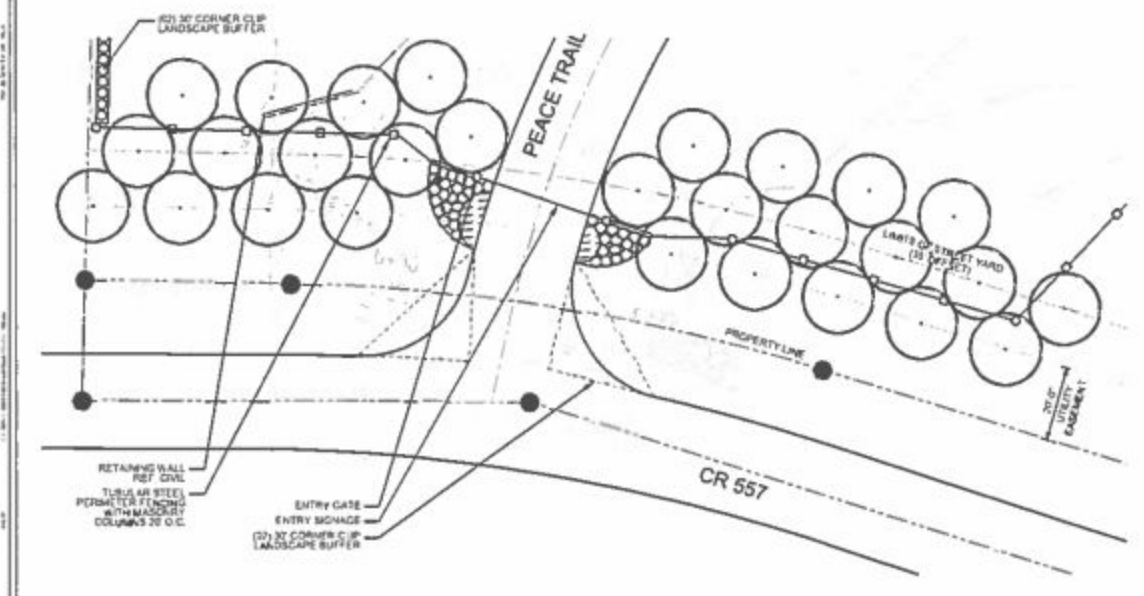
DATE: 05/18/2017  
DRAWN BY: JWB

Project No. 1407  
Revised: 05/18/2017  
Drawn By: JWB  
Checked By: JWB  
Scale: AS NOTED  
Sheet Title: OVERALL LANDSCAPE PLAN  
L1.00  
Sheet Number

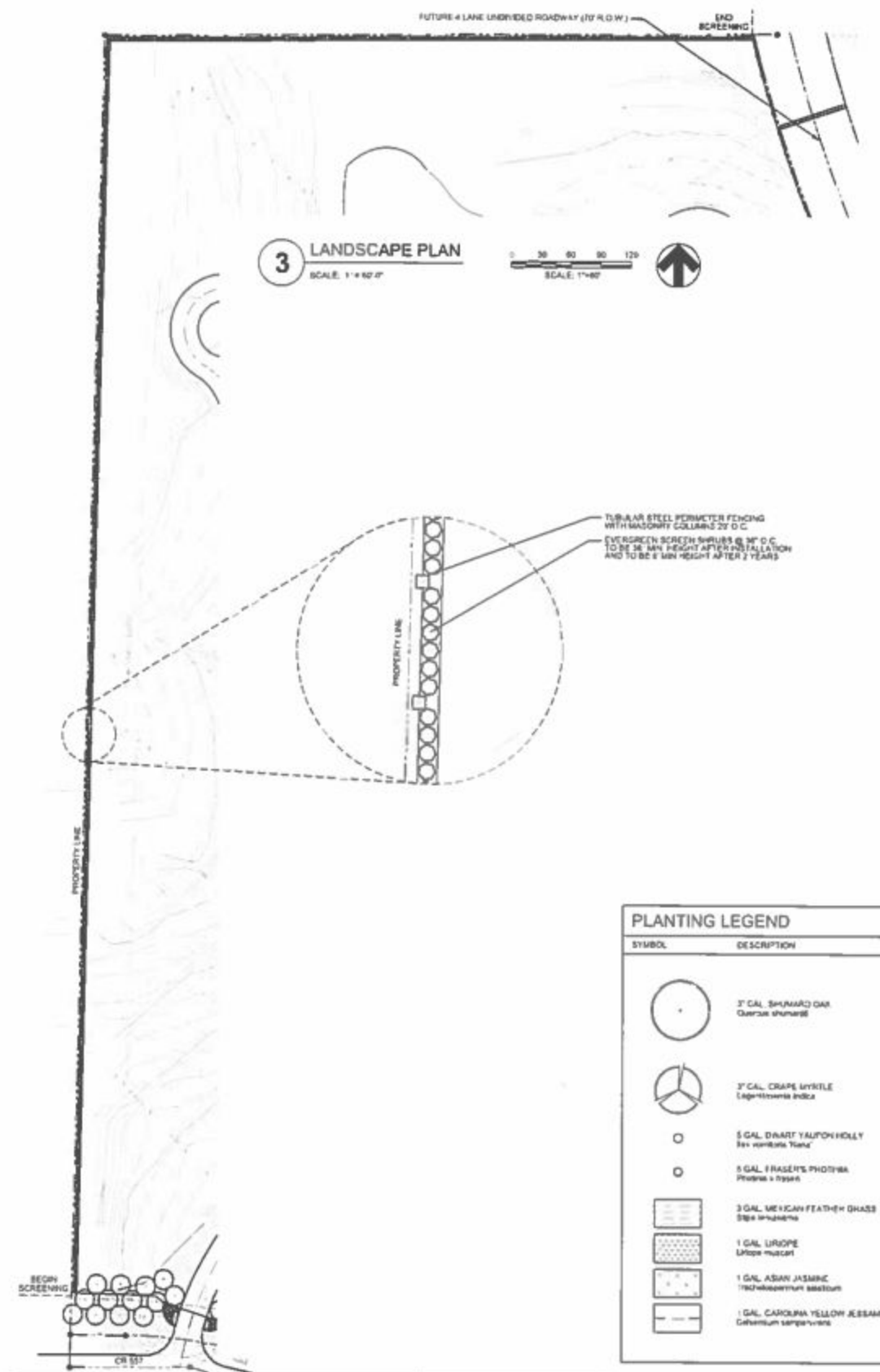




**1 LANDSCAPE PLAN**  
SCALE: 1" = 20'-0"  
SCALE: 1" = 20'



**2 LANDSCAPE PLAN**  
SCALE: 1" = 20'-0"  
SCALE: 1" = 20'



**3 LANDSCAPE PLAN**  
SCALE: 1" = 60'-0"  
SCALE: 1" = 60'

PLANTING LEGEND	
SYMBOL	DESCRIPTION
	3" GAL. SHUNARD OAK <i>Quercus shumardii</i>
	3" GAL. CRAPE MYRTLE <i>Lagerflora indica</i>
	5 GAL. DART YALPOH HOLLY <i>Ilex verticillata</i>
	5 GAL. FRASER'S PHOTOGRAPHY <i>Photinia x fraseri</i>
	3 GAL. MEXICAN FEATHER GRASS <i>Elyonurus argenteus</i>
	1 GAL. URUPE <i>Uruba mucronata</i>
	1 GAL. ASIAN JASMINE <i>Yulocalyx stipularis</i>
	1 GAL. CAROLINA YELLOW JESSAMINE <i>Gelsemium sempervirens</i>

**IACC CEMETERY**  
FARMERSVILLE, TEXAS



**PRELIMINARY**  
FOR INTERIM REVIEW ONLY

Project No. 31401  
Issued: 05/20/17  
Drawn By: RAB  
Checked By: JVA  
Scale: AS NOTED  
Sheet Title: LANDSCAPE PLAN  
Sheet Number: L101

**PLANTING SPECIFICATIONS**

**PREPARATION**  
LANDSCAPE CONTRACTOR AND REPRESENTATIVE OF OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LIVE BIDS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.

**PLANT LOCATIONS**  
REFER TO PLANTING PLAN FOR PLANTING LOCATION AND PLANT MATERIAL LEGEND FOR SPECIFICATIONS. MATERIAL LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

**GRADING AND DRAINAGE**  
Landscape Architect ASSUMES NO RESPONSIBILITY FOR FAILURE OF ANY HARDSCAPE AMENITY SUCH AS WALKS, ENTRANCES TO STRUCTURES AND PLANTER BEDS FORMED OR ENCLOSED BY FOGGING AND FLAT WORK WHICH DO NOT DRAIN DUE TO IMPROPER SLOPE OR ELEVATIONS DURING CONSTRUCTION. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING, AND VERIFYING THAT WATER DRAINS AWAY FROM BUILDING.

**COORDINATION**  
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.

**MAINTENANCE**  
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTING BEDS IN A WEED AND DEBRIS FREE CONDITION AND SHALL ACCOMPLISH WATERING BY HAND AS DEEMED NECESSARY UNTIL SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL MAINTAIN ALL WORK FOR A PERIOD OF 30 DAYS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE.

**VERIFICATION**  
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATION BY LANDSCAPE ARCHITECT. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDSCAPE ARCHITECT TO BE NOTIFIED IF DISCREPANCIES OCCUR. OTHERWISE, THE CONTRACTOR IS TO BID THEIR OWN VERIFIED QUANTITIES PER LANDSCAPE PLAN OTHERWISE.

**MULCH**  
AT THE TIME OF INSTALLATION AND COMPLETION, ALL PLANTING BEDS SHALL RECEIVE A MINIMUM 2" LAYER OF MULCH. ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND RE-SEED.

**PLANT MATERIAL STANDARDS**  
ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN BY THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION. ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS. LANDSCAPE ARCHITECT SHALL APPROVE ANY PLANT SUBSTITUTION.

**PLANTING**  
ALL TREES ARE TO BE PLANTED AT TIME OF INSTALLATION TO REMOVE DEAD AND UNSIGHTLY LIMBS.

**PLANTING SOIL MIXTURE**  
20% SAND AND SOIL (SEE SOIL DESCRIPTION BELOW)  
80% BALANCED COMPOST (SEE DESCRIPTION BELOW)

**SAND AND SOIL MIX DESCRIPTION**  
SHARP SAND; SAND EXCAVATED FROM A MINIMUM OF 20 FEET BELOW GROUND LEVEL; SCREENED NATIVE SOIL, WELL ADAPTED NATIVE SOIL FROM SOURCES A MAXIMUM DISTANCE OF 250 METERS FROM THE PROJECT SITE.

**BALANCED COMPOST DESCRIPTION**  
WELL-COMPOSTED, UNBLEACHED SOIL BLENDS STABLE AND WEED-FREE ORGANIC MATTER PH RANGE OF 5.5 TO 6.5 MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT 100 PERCENT PASSING THROUGH 1/4" MESH; SOLUBLE SALT CONTENT OF 0.1 TO 1.0 DECIBELMANS NOT EXCEEDING 0.5 PERCENT NITRIT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTS. PURELY EXCAVATED SOIL WILL NOT BE PERMITTED. COMPOST CAN HAVE MATERIALS AS FOLLOWS:  
1. WOOD DEBRIS: DECAYED, NITROGEN-TREATED SAWDUST, GROUND BARK, OR WOOD WASTE, OF UNIFORM TEXTURE AND FREE OF CHIPS, STICKS, SOIL, OR TOXIC MATERIAL.  
2. LUMBER: EITHER TREATED OR UNTREATED, PALLET OR CONSTRUCTION WASTE WILL NOT BE PERMITTED AS A WOOD DEBRIS TYPE.  
3. MANURE: WELL-ROTTED, UNBLEACHED STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 18 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS; FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WELD BEGS, GERBES, AND MATERIAL HARMFUL TO PLANT GROWTH.

4. NO FRAGE, BLUDGE, AND RAW MANURE WILL NOT BE PERMITTED.  
5. LANDSCAPE TRIMMINGS: DECAYED GRASS, LEAVES, WOOD CHIPS, OR BRUSH OF UNIFORM TEXTURE AND FREE OF STICKS, STONES, OR TOXIC MATERIAL.

6. ADDITIONAL REQUIREMENTS:  
a. DEVELOPED USING AN EXTENSIVE AEROBIC COMPOSTING PROCESS.  
b. SCHEDULED TURNS WITH A MINIMUM OF 5 TURNS.  
c. COMPLETELY COMPOSTED FOR A MINIMUM OF 6-12 MONTHS.  
d. ACHIEVES A SOLUBILITY COMPOST MATURITY INDEX VALUE OF 7 OR HIGHER.  
e. MEET OR EXCEED THE TIME AND TEMPERATURE STANDARDS SET IN T.A.C. CHAPTER 332, SUBCHAPTER B, PART 23 AS REQUIRED BY THE T.C.D.M.N.C.  
f. MEET FERTILIZER SPECIFICATION UNDER GUIDELINES OF 48 C.F.R. PART 623 STANDARDS FOR CLASS A BIOSOLIDS.  
g. HAVE A HIGH CONCENTRATION OF AERBIC COMPOSTED ORGANIC MATTER AS DETERMINED BY ASTM D-5898 AT 524 F.

**WARRANTY**  
ALL PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER.

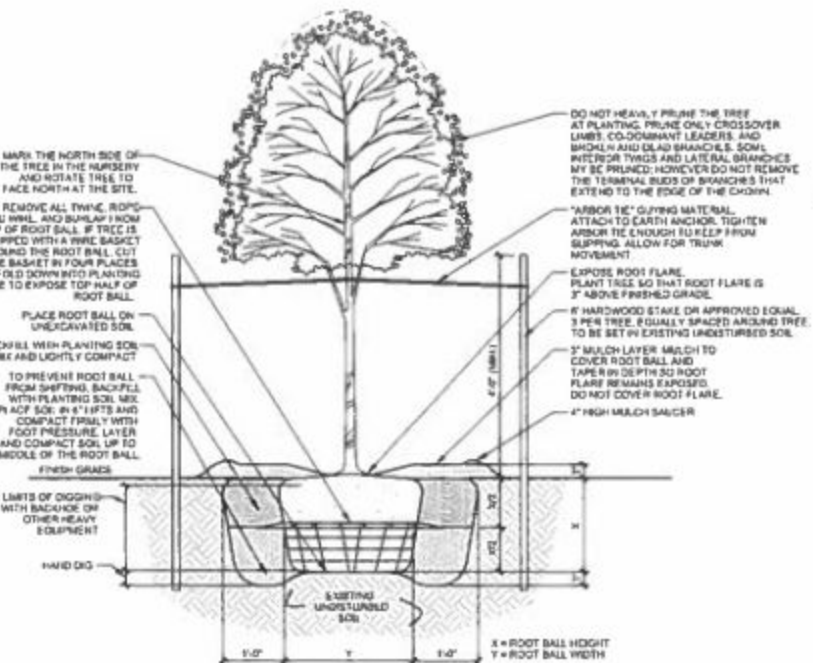
**IRRIGATION SYSTEM**  
IRRIGATION CONTRACTOR TO INSTALL NEW IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE FOR AFFECTED TURF AND BED AREAS.

**PLAN VIEW**

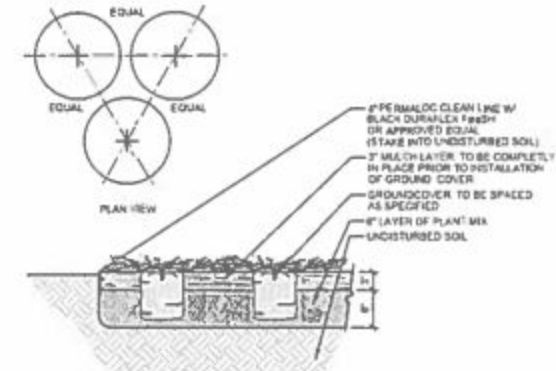


**01 TREE PROTECTION DETAIL**  
SCALE: N.T.S.

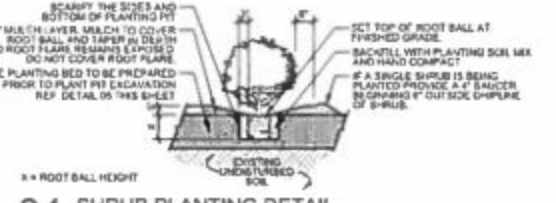
- STANDARD PRESERVATION NOTES FOR TREE AND NATURAL AREA PROTECTION**
- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing and other measures as needed which may include watering with mulching of 8-in. roots, etc.
  - Protective fences shall be erected according to City Standards for Tree Protection.
  - Protective fences shall be installed prior to the start of any site preparation work (excavating, grading or grading) and shall be maintained throughout all phases of the construction project.
  - Excavation and underpinning operations shall be avoided or minimized in a manner which does not result in soil subsidence within tree root zone.
  - Protective fences shall surround the trees or group of trees, and will be located no closer than the maximum limit of 8-inches (200 mm) plus an additional 2'-0" away from the limits of drainage. For special areas, protective fences shall follow the limit of Construction line in order to prevent the following:
    - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials.
    - Root zone disturbances due to grade changes (greater than 6 inches out or in) or trenching not reviewed and authorized by the City Parks Department.
    - Wounds to exposed roots, trunk or limbs by mechanical equipment.
    - Other activities detrimental to trees such as chemical storage, cement block storage, and 8-in.
  - Exceptions to installing fences at tree drip lines may be permitted in the following cases:
    - Where there is to be an approved grade change, impermeable paving surface, tree wall, or other such site development, erect the fence approximately 2 to 4 feet beyond the area disturbed.
    - Where permanent paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permanent paving area (prior to site grading so that the area is graded separately by hand) prior to paving installation to minimize damage.
    - Where trees are close to proposed buildings, erect the fence to allow root pruning in the work space between the fence and the building prior to disturbance. The fence can be erected at the point of root pruning.
    - Where there are severe space constraints due to utility lines, or other special requirements, contact an Ardenist to discuss alternatives.
  - Special Note: Exceptions are permitted for areas within the critical root zone. No disturbances are permitted within the critical root zone (75% of the drip line area). For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted, and no filing of stock piling of material or dirt is allowed around trees.
  - Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with insulation extending to a height of 8 ft, in addition to the indicated fencing provided.
  - Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
  - Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic mulch in a manner which reduces soil temperature and maintains moisture level due to evaporation.
  - Trenching required for the installation of irrigation shall be placed as far from existing tree trunks as possible.
  - No landscape related activity greater than 2 inches shall be permitted within the drip line of trees. No soil or mulch to be compacted on the root zone of any tree.
  - Lighting & pruning to provide clearance for structures, traffic and equipment shall take place before damage occurs.
  - All structural pruning shall be done according to recognized approved standards of the industry (Reference the National Ardenist Association Pruning Standards for Shade Trees).



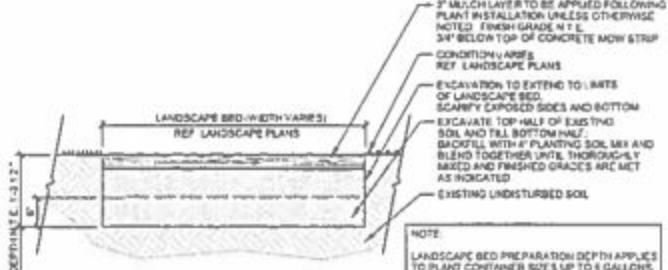
**03 SINGLE-TRUNK TREE WITH STAKES**  
SCALE: 3/4" = 1'-0"



**02 GROUNDCOVER PLANTING DETAIL**  
SCALE: 1/4" = 1'-0"



**04 SHRUB PLANTING DETAIL**  
SCALE: 1/2" = 1'-0"



**05 LANDSCAPE BED PREPARATION**  
SCALE: 3/4" = 1'-0"

**IACC CEMETERY**  
FARMERSVILLE, TEXAS



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DATE: 05/19/2017  
DRAWN BY: RMB  
CHECKED BY: JFW  
SCALE: AS NOTED

Project No. 17401  
Issued: 05/19/2017  
Drawn By: RMB  
Checked By: JFW  
Scale: AS NOTED  
Sheet Title: PLANTING DETAILS AND SPECIFICATIONS  
L2.01  
Sheet Number

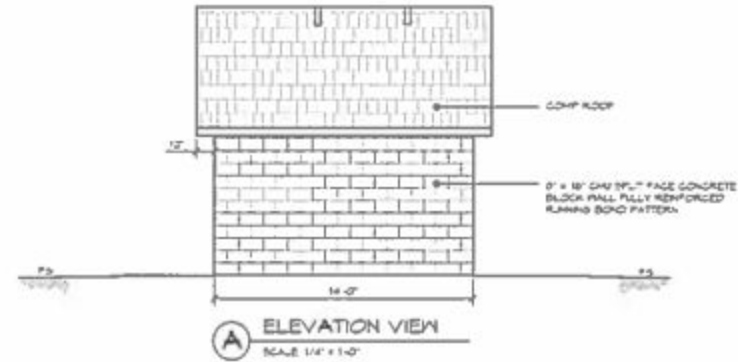
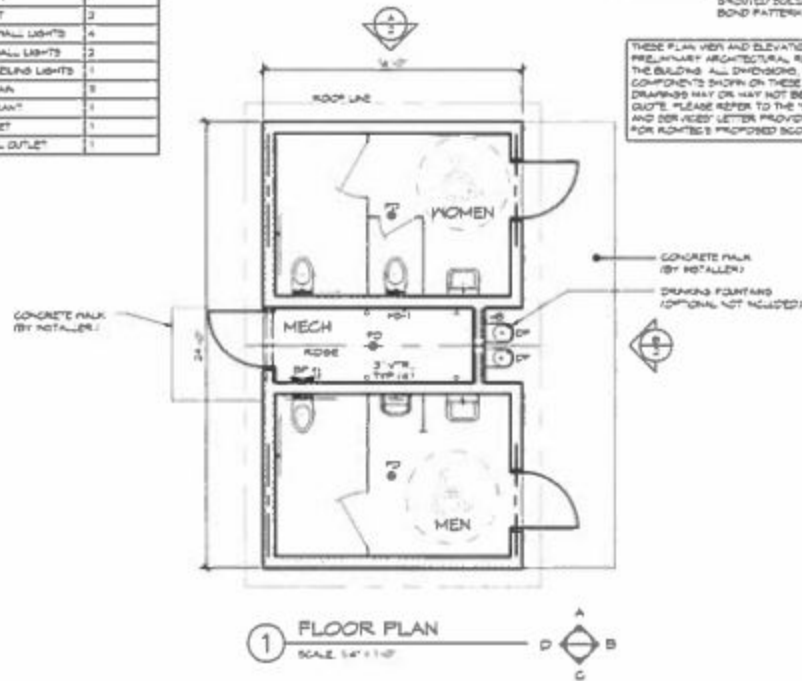


LEGEND		
SYMBOL	DESCRIPTION	AREA/QUANTITY
—	SHALE VENT	4
—	ROSE VENT	2
—	EXTERIOR WALL LIGHTS	4
—	INTERIOR WALL LIGHTS	2
—	INTERIOR CEILING LIGHTS	1
□	FLOOR DRAIN	8
—	WALL HYDRANT	1
—	WALL FACEIT	1
—	ELECTRICAL OUTLET	1

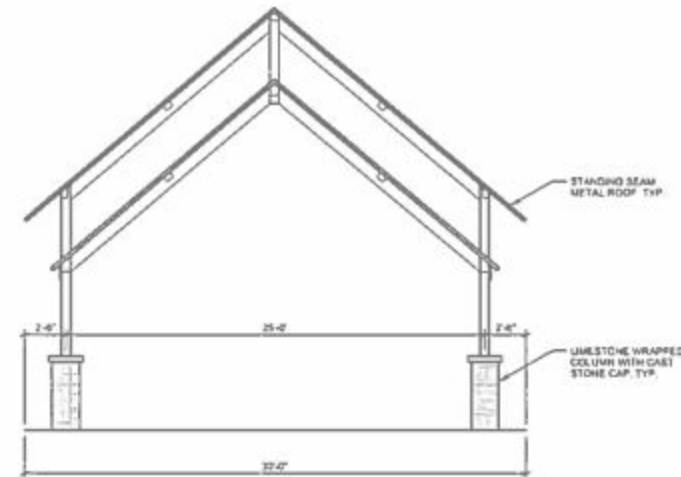
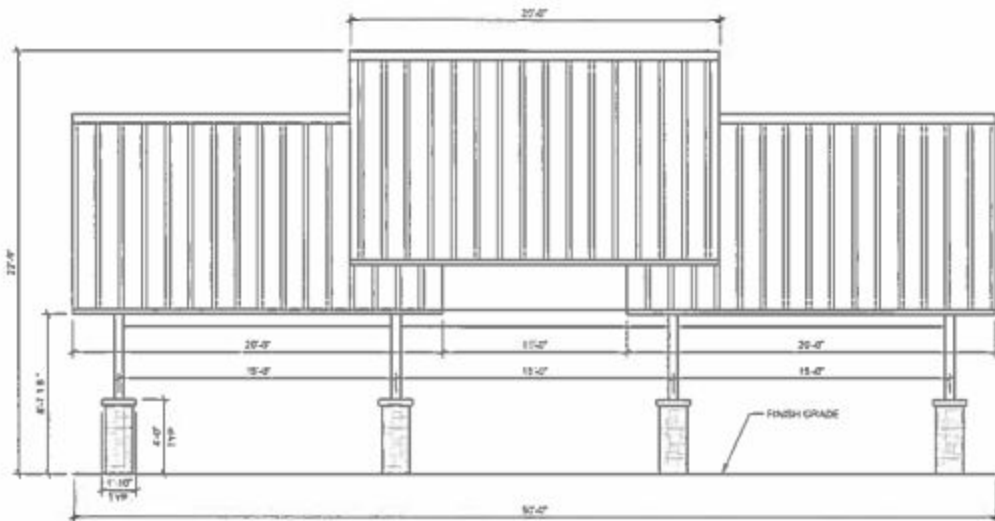
**WALL TYPE SCHEDULE**

1' REINFORCED CONCRETE MASONRY  
 BLOCK WALL WITH MORTAR JOINTS  
 GROUDED BOLD ALL CELLS RUNNING  
 BOND PATTERN

THESE PLAN VIEW AND ELEVATION DRAWINGS ARE A  
 PRELIMINARY ARCHITECTURAL REPRESENTATION OF  
 THE BUILDING. ALL DIMENSIONS, FEATURES AND  
 COMPONENTS SHOWN ON THESE PRELIMINARY  
 DRAWINGS MAY OR MAY NOT BE PART OF THE  
 SCOPE. PLEASE REFER TO THE SCOPE OF SUPPLY  
 AND ORDER LETTER PROVIDED WITH YOUR QUOTE  
 FOR RUMBLE'S PROPOSED SCOPE OF SUPPLY.



NOTE:  
 1. FOR INFORMATIONAL PURPOSES ONLY.  
 2. RESTROOM MANUFACTURER: RUMBLE INC. MODEL: ZW1. SIZE: 20'-0" L x 14'-0" W. CONTACT: 1530 NORTH BANK RD. ROSELAND, OR 97131. SA-128-2541. WWW.RUMBLE.COM

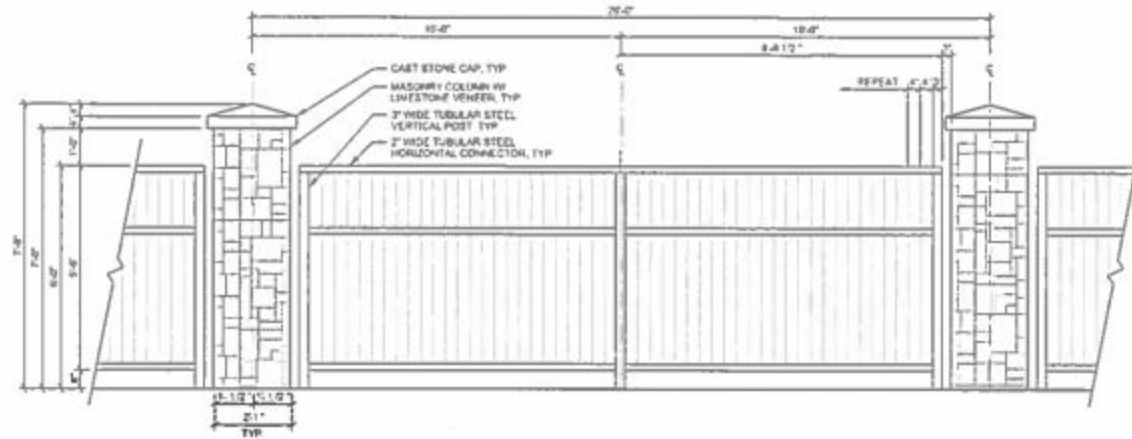


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NO.	DESCRIPTION	DATE

Project No.	21407
Issued	05/19/2017
Drawn By	JKM
Checked By	JHM
Scale	AS NOTED
Sheet Title	PAVILION AND RESTROOM DETAILS
Sheet Number	L2.02



**01 PERIMETER FENCING W/ MASONRY COLUMNS**  
 SCALE: 1/4" = 1'-0"  
 SEE PLAN

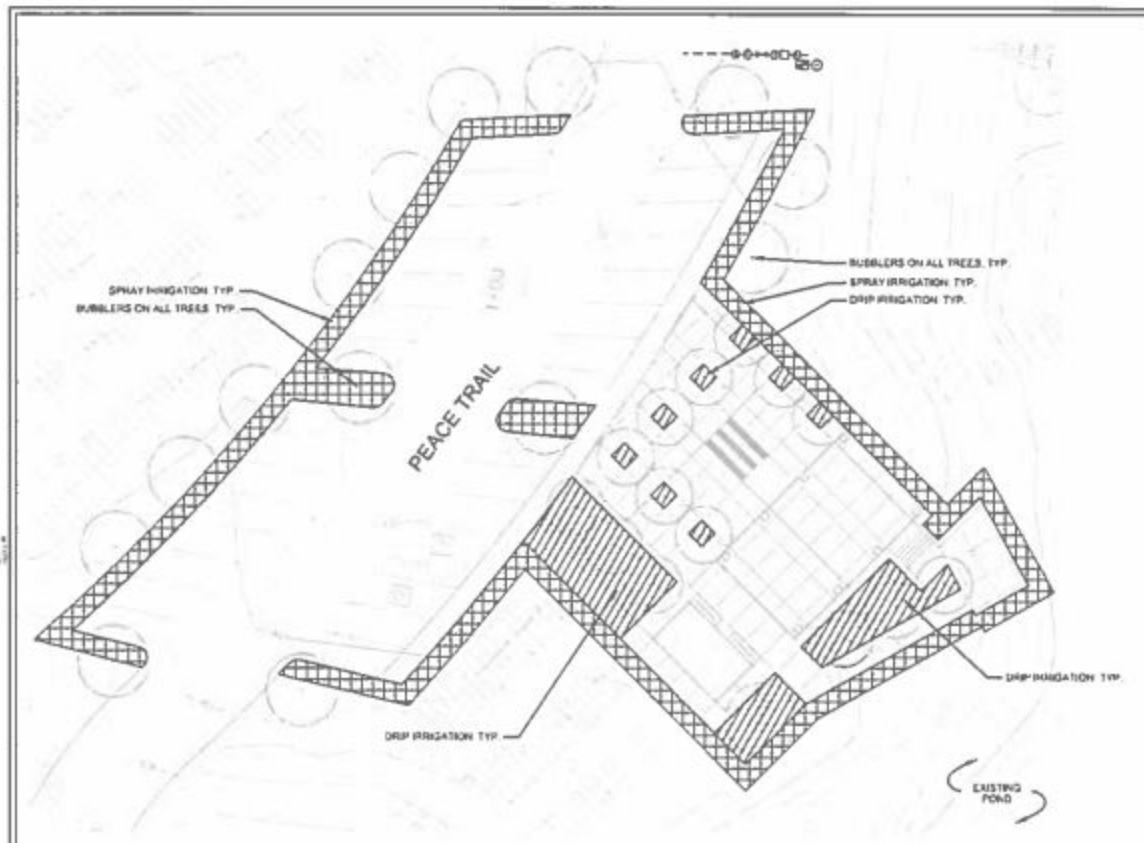
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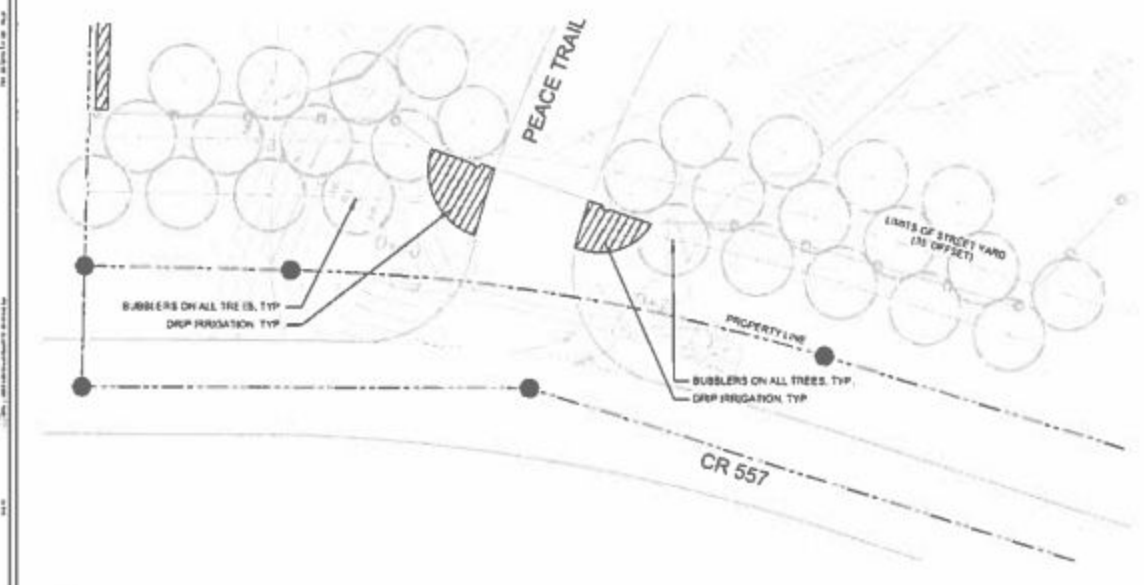
Revision	Date	Description

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 JOHN W. HALL, P.E.      DATE: 07/15/2011  
 TITLE: LANDSCAPE DETAILS

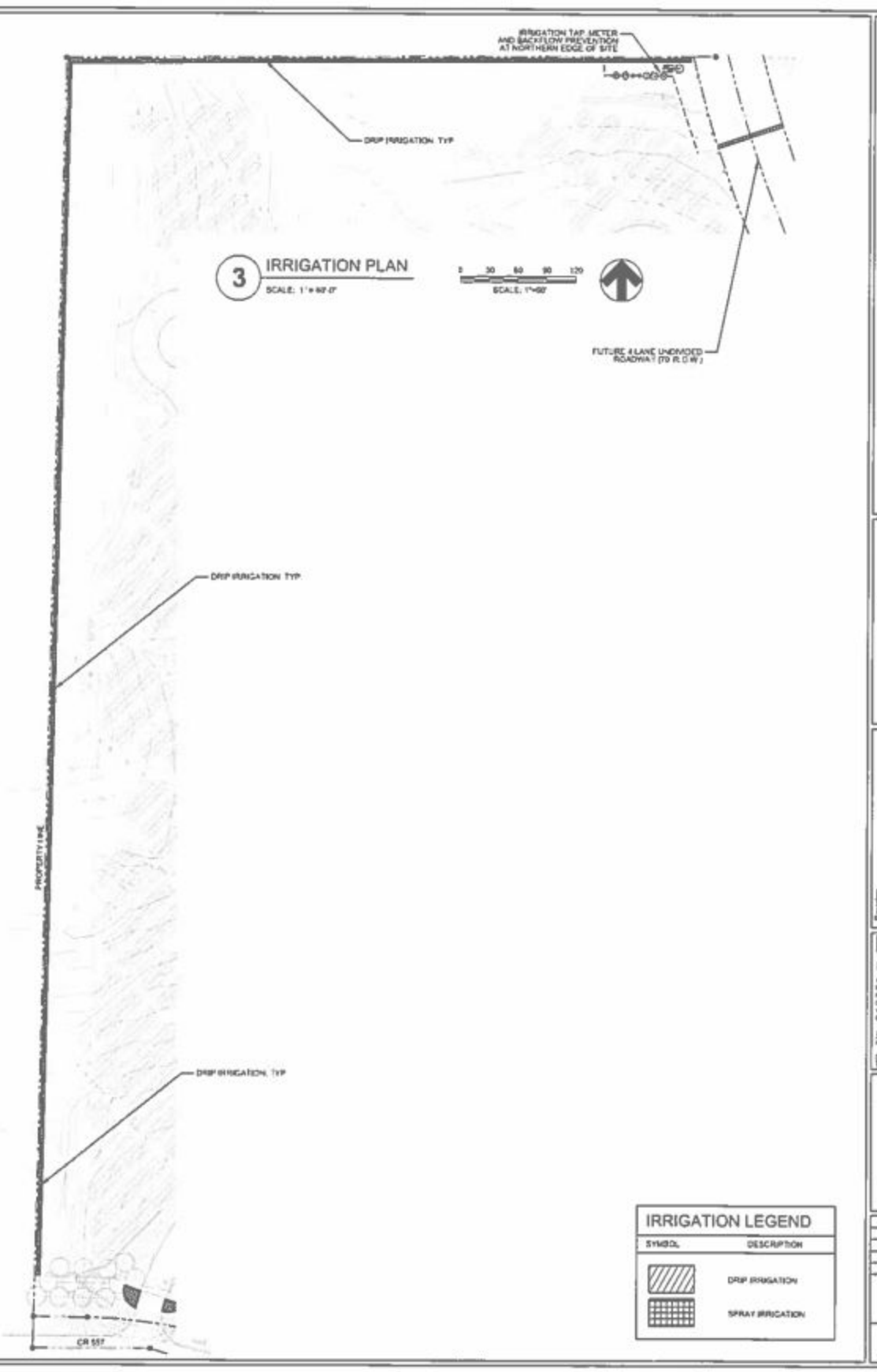
Project No: 31427  
 Name: 05/18/2011  
 Drawn By: JWH  
 Checked By: JWH  
 Scale: AS NOTED  
 Sheet Title: LANDSCAPE DETAILS  
**L2.03**  
 Sheet Number



**1** IRRIGATION PLAN  
SCALE: 1" = 25'-0"  
SCALE: 1" = 25'



**2** IRRIGATION PLAN  
SCALE: 1" = 20'-0"  
SCALE: 1" = 20'



**IRRIGATION LEGEND**

SYMBOL	DESCRIPTION
	DRIP IRRIGATION
	SPRAY IRRIGATION

**IACC CEMETERY**  
FARMERSVILLE, TEXAS



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DATE: 06/20/17

Project No.	31493
Issued	05/19/2017
Drawn by	JHP
Checked by	JHP
Scale	AS NOTED
Draw Title	IRRIGATION PLAN
Sheet Number	IR1.01

File Name: \\S:\000\01102\00001\00001\00001\00001.dwg  
 Project: 01102  
 Date: 10/20/11  
 Author: EJE



# 01 ELECTRICAL SITE PLAN

SCALE: 1" = 100'-0"







**PHILIPS GARDCO LED**

The Philips Gardco LED light fixture is a 4-foot long, 1-foot wide, 4-inch deep fixture. It features a high-intensity discharge (HID) lamp and a built-in ballast. The fixture is designed for easy installation and provides excellent lighting performance.

**ASA**

ASA is a professional electrical engineering firm based in Farmersville, Texas. We provide comprehensive electrical design and construction services for commercial and industrial facilities.

**AS A 120V**

NO.	TYPE	DESCRIPTION	AMOUNT	PRICE	TOTAL
1	PHILIPS GARDCO LED	4' x 1' x 4" LED LIGHT FIXTURE	10	120.00	1200.00
2	ASA	120V CIRCUIT BREAKER	5	20.00	100.00
3	ASA	4" SQUARE BOLT	10	5.00	50.00
4	ASA	CONDUIT	100	10.00	1000.00





**PHILIPS GARDCO LED**

The Philips Gardco LED light fixture is a 4-foot long, 1-foot wide, 4-inch deep fixture. It features a high-intensity discharge (HID) lamp and a built-in ballast. The fixture is designed for easy installation and provides excellent lighting performance.

**LSLL SERIES**

LSLL Series is a line of LED light fixtures that offer a range of options for different applications. They are available in various sizes and finishes, making them a versatile choice for any lighting project.

**ORDERING INFORMATION**

Example: LSLL30CT3A1FN3H 1MB8 FL0818 80PS-271LC

Symbol	Quantity	Part Number	Description	Notes
C	10	ASA	120V CIRCUIT BREAKER	
R	10	ASA	4" SQUARE BOLT	

**Job Information**

Job No: \_\_\_\_\_  
 Job Name: \_\_\_\_\_  
 Job Location: \_\_\_\_\_

**Pages** 4 of 4  
**4" Straight Square Steel**

The Philips Gardco LED light fixture is a 4-foot long, 1-foot wide, 4-inch deep fixture. It features a high-intensity discharge (HID) lamp and a built-in ballast. The fixture is designed for easy installation and provides excellent lighting performance.



Symbol	Description	Quantity	Price	Total
PH	PHILIPS GARDCO LED	10	120.00	1200.00
ASA	ASA	5	20.00	100.00
CON	CONDUIT	100	10.00	1000.00





**PHILIPS GARDCO LED**

**PHILIPS GARDCO LED**

The Philips Gardco LED light fixture is a 4-foot long, 1-foot wide, 4-inch deep fixture. It features a high-intensity discharge (HID) lamp and a built-in ballast. The fixture is designed for easy installation and provides excellent lighting performance.

**PHILIPS GARDCO LED**

**ORDERING GUIDE**

Symbol	Description	Quantity	Price	Total
PH	PHILIPS GARDCO LED	10	120.00	1200.00
ASA	ASA	5	20.00	100.00
CON	CONDUIT	100	10.00	1000.00

**PHILIPS GARDCO LED**

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**PHILIPS GARDCO LED**

**IACC CEMETERY**  
 FARMERSVILLE, TEXAS

**HALFF**

MECHANICAL ENGINEERING

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 CHECKED BY: EJE  
 APPROVED BY: EJE

PROJECT: IACC CEMETERY  
 SHEET NO: 01  
 SHEET TITLE: ELECTRICAL SITE PLAN  
 SHEET NUMBER: E1.00

V. Adjournment